

NEW YORK CITY
ECONOMIC DEVELOPMENT CORPORATION



BELLA ABZUG PARK
BLOCK 5 & 6 DEMOLITION
BLOCK 709, LOT 52
533-541 W. 38TH STREET
NEW YORK, NY

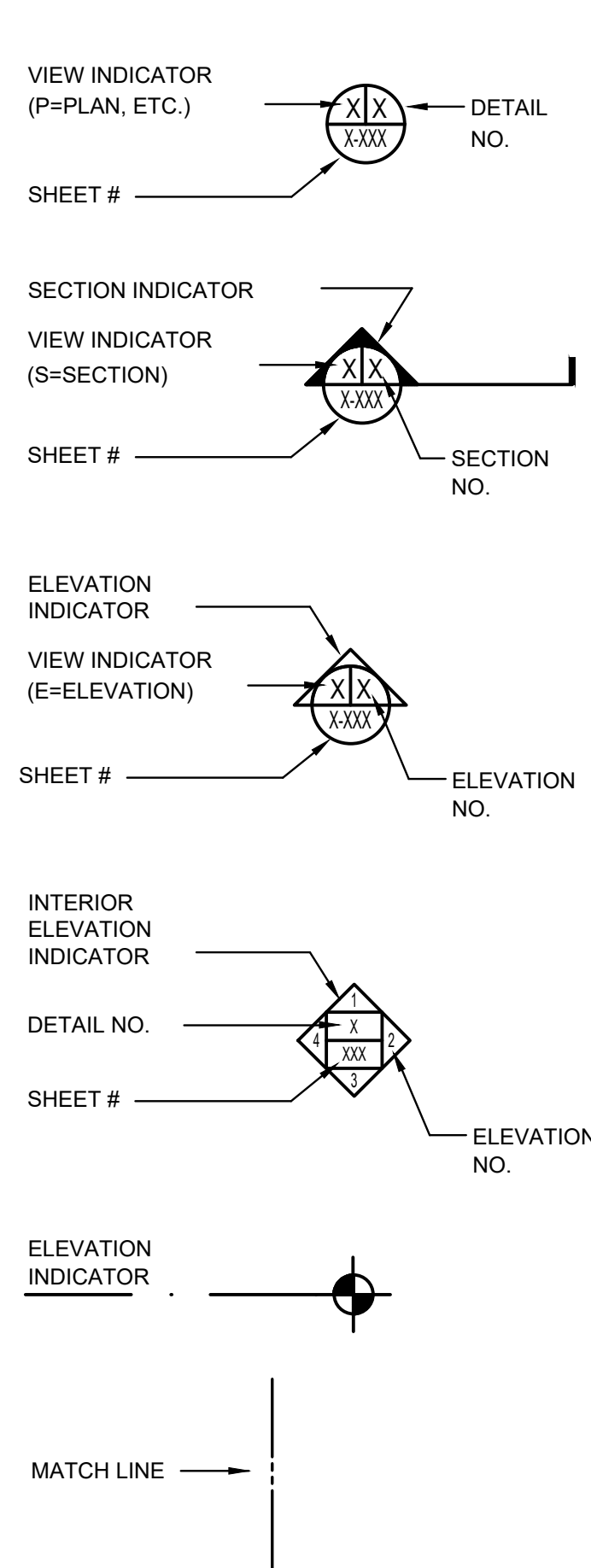
90% SUBMISSION

XXXX, XX, 2023

LIST OF ABBREVIATIONS

A.D.R.	ACCESS DOOR	G.R.	GUARD RAIL	Q.T.	QUARRY TILE
A.F.F.	ABOVE FINISHED FLOOR	GA.	GAUGE	R.D.	ROOF DRAIN
A.P.	ACCESS PANEL	GALV.	GALVANIZED	RAD.	RADIUS
ABV.	ABOVE	GL.	GLASS	REF.	REFERENCE
AC.T.	ACOUSTIC TILE	GR.	GRILL	REINF.	REINFORCING:MENT
ADJ.	ADJUSTABLE OR ADJACENT	GRTG.	GRATING	REQ.	REQUIRED
ALUM.	ALUMINUM	GTC.	GROUND TRANSPORTATION CENTER	RM.	ROOM
ANG.	ANGLE			RW.	RAIN WATER
ANOD.	ANODIZED	H.	HIGH		
APPD.	APPROVED	H.M.	HOLLOW METAL	SAF.	SAFETY
APPROX.	APPROXIMATE	H.P.	HIGH POINT	S.D.	SOAP DISPENSER
ARCH.	ARCHITECTURAL	H.R.	HANDRAIL	S.F.	SQUARE FEET
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS INTERNATIONAL	H.S.	HIGH STRENGTH	S.P.	SEE PLAN
		H.V.A.C.	HEATING, VENTILATION & AIR CONDITIONING	S.P.T.	STARTING POINT
		HD.	HEAD	S.S.	STAINLESS STEEL
B.	BASE	HDR.	HEADER	SDL.	SADDLE
B.L.	BUILDING LINE	HEX.	HEXAGONAL	SECT.	SECTION
BD.	BOARD	HGT.	HEIGHT	SHT.	SHEET
BKT.	BRACKET	HORIZ.	HORIZONTAL	SIM.	SIMILAR
BLDG.	BUILDING				
BM.	BEAM	I.D.	INSIDE DIAMETER	SLD'G.	SLIDING
BOT.	BOTTOM	INCL.	INCLUDING	SPEC.	SPECIFICATION
BRK.	BRICK	INFO.	INFORMATION	SQ.	SQUARE
		INSUL.	INSULATION	ST.	STAINLESS
		INT.	INTERIOR	STIFF.	STIFFENER
C.	COURSES	IT.	INTERIOR	STL.	STEEL
C.H.	CEILING HEIGHT	JT.	JOINT	STRUCT.	STRUCTURAL
C.J.T.	CONSTRUCTION JOINT			SUSP.	SUSPENDED
C.L.	CENTERLINE	K.	KIPS	SYS.	SYSTEM
C.M.U.	CONCRETE MASONRY UNIT			T.	TREAD
C.R.	CEILING REGISTER	L.	ANGLE	T.&B.	TOP AND BOTTOM
C.S.	CONCRETE SLAB	L.L.	LIVE LOAD	T.&G.	TONGUE AND GROOVE
CAB.	CABINET	L.P.	LOW POINT	T.&S.	TAPE AND SPACKLE
CEM.	CEMENT	L.W.	LIGHT WEIGHT	T.O.	TOP OF
CER.T.	CERAMIC TILE	LAM.	LAMINATED	T.O.MAS.	TOP OF MASONRY
CHAN.	CHANNEL	LAV.	LAVATORY	T.O.SL.	TOP OF SLAB
CLG.	CEILING	LG.	LONG	T.O.S.	TOP OF STEEL
COL.	COLUMN	LT.	LIGHT	TAN.	TANGENT
CONC.	CONCRETE	LTG.	LIGHTING	TEMP.	TEMPORARY
COND.	CONDITIONS			TERM.	TERMINAL
CONN.	CONNECTION	M.D.	METAL DECK	THK.	THICK
CONSTR.	CONSTRUCTION	M.H.	MANHOLE	TRANSF.	TRANSFORMER
CONT.	CONTINUOUS	M.O.	MASONRY OPENING	TYP.	TYPICAL
CONV.	CONVECTOR	MANUF.	MANUFACTURER	U.L.DES.	UNDERWRITERS LABORATORY DESIGN
CORR.	CORRUGATED	MAS.	MASONRY	U.N.	UNLESS NOTED
CSK.	COUNTERSINK/SUNK	MATL.	MATERIAL	UNIF.	UNIFORM
CT	CERAMIC TILE	MECH.	MECHANICAL	UNFIN.	UNFINISHED
CTA	CENTRAL TERMINAL AREA	MFG.	MANUFACTURER		
		MIN.	MINIMUM	V.I.F.	VERIFY IN FIELD
D.	DIAMETER	MISC.	MISCELLANEOUS	VERT.	VERTICAL
D.O.	DITTO	MTL.	METAL		
DBL.	DOUBLE	N.	NORTH	W/	WITH
DEPT.	DEPARTMENT	N.F.	NEAR FACE	W.	WIDE
DESCR.	DESCRIPTION	NO.	NUMBER	W.P.	WORKING POINT
DET.	DETAIL	N.S.	NEAR SIDE	W.R.	WASTE RECEPTACLE
DIA.	DIAMETER	N.T.S.	NOT TO SCALE		
DIFF.	DIFFUSER	NY	NEW YORK		
DIM.	DIMENSION				
DN.	DOWN	O.A.	OVER ALL		
DR.	DOOR	O.C.	ON CENTER		
DWG.	DRAWING	O.H.	OVER HEAD		
		OPN'G.	OPENING		
EA.	EACH	OPP.	OPPOSITE		
EL.	ELEVATION	O.D.	OUTSIDE DIAMETER		
ELEC.	ELECTRICAL	PART.	PARTITION		
ELEV.	ELEVATOR	PENETR.	PENETRATION		
EMERG	EMERGENCY CALL BOX	P.I.P.	POURED IN PLACE		
ENCL.	ENCLOSURE	PL.	PLATE		
EQ.	EQUAL	PLAS.	PLASTER		
EQ.SP.	EQUAL SPACES	PLUMB.	PLUMBING		
EQUIP.	EQUIPMENT	P.M.	PREMOLDED		
ETC.	ETCETRA	PNL.	PANEL		
EXT.	EXTERIOR	POL.	POLISHED		
EXIST.	EXISTING	PREFAB.	PREFABRICATED		
EXP.JT.	EXPANSION JOINT	P.S.F.	POUNDS PER SQUARE FOOT		
EXPN.	EXPANSION	P.S.I.	POUNDS PER SQUARE INCH		
EXTN.	EXTENSION	PT.	PART		
E.W.C.	ELECTRIC WATER COOLER	PTD.	PAINTED		
F.A.	FRESH AIR				
F.D.	FLOOR DRAIN				
F.FLR.	FINISH FLOOR				
F.O.	FACE OF				
F.P.	FIRE PROOFING				
FDN.	FOUNDATION				
FIN.	FINISHED				
FIXT.	FIXTURE				
FL.	FLUSH				
FLR.	FLOOR				
FLT.HD.	FLAT HEAD				
FR.	FRAME				
FT.	FEET:FOOT				
FTG.	FOOTING				
FUT.	FUTURE				

SYMBOLS



DRAWING INDEX

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**BELLA ABZUG PARK
BLOCKS 5 & 6**



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WARNING: IT IS A VIOLATION OF NEW YORK LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT, LANDSCAPE ARCHITECT, PROFESSIONAL ENGINEER, OR LAND SURVEYOR (AS APPLICABLE), TO ALTER ANY ITEM SHOWN ON THIS DOCUMENT IN ANY WAY, IF A DOCUMENT OR ITEM BEARING THE SEAL OF ANY SUCH LICENSED PROFESSIONAL IS ALTERED, THE ALTERING ARCHITECT, LANDSCAPE ARCHITECT, PROFESSIONAL ENGINEER, OR LAND SURVEYOR SHALL AFFIX TO EACH ALTERED ITEM THEIR SEAL WITH THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE WITH THE DATE AND A SPECIFIC DESCRIPTION OF EACH ALTERATION.

NOT FOR CONSTRUCTION

STATUS

REVISIONS		
NO.	DATE	DESCRIPTION

DRAWING TITLE
ABBREVIATIONS, SYMBOLS AND DRAWINGS INDEX

DRAWING NUMBER
G-001

Seal	DATE	04/03/2020
	SCALE	1/8" = 1'-0"
	DRAWN BY	D.SYROM
	CHECKED BY	W.LEE



1 AERIAL LOCATION MAP
SCALE: N.T.S.

GENERAL NOTES:

- INFORMATION PROVIDED BY CONTRACT DRAWINGS MAY NOT MATCH ACTUAL FIELD CONDITIONS. VERIFY ALL INDICATED CONDITIONS AND DIMENSIONS IN THE FIELD BEFORE COMMENCING ANY WORK. NOTIFY THE ENGINEER OF ANY CONDITIONS OR DIMENSIONS THAT WOULD PREVENT OR HAMPER THE PERFORMANCE OF THE WORK IN ACCORDANCE WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS. SEE DIVISION 1 OF THE CONTRACT BOOK.
- EACH BIDDER SHALL INSPECT THE SITE AND CAREFULLY EXAMINE AND ANALYZE THE PROVISIONS AND REQUIREMENTS OF THE CONTRACT AND UNDERSTAND ALL THINGS REQUIRED FOR THE PERFORMANCE OF THIS CONTRACT. FOR BELOW GRADE STRUCTURAL ELEMENTS SUCH AS FLOOR SLAB, GRADE BEAMS, PILE CAPS, PILES, TRENCHES, ETC., REFER TO STRUCTURAL CONTRACT DRAWINGS.
- UNLESS OTHERWISE NOTED ON CONTRACT DRAWINGS, REMOVE AND DISPOSE OF THE ENTIRE BUILDING INCLUDING, BUT NOT LIMITED TO STRUCTURES, FOUNDATIONS, UNDERGROUND PITS AND TRENCHES, ELECTRICAL, PLUMBING & MECHANICAL EQUIPMENT, FINISHES AND ANY OTHER CONTENT WITHIN THE PERIMETER FENCE. REFER TO CONTRACT SPECIFICATION SECTION 02050 "DEMOLITION AND DISPOSAL" FOR ADDITIONAL DEMOLITION DESIGN AND PERFORMANCE, DEMOLITION, PROTECTION, AND POLLUTION CONTROL REQUIREMENTS.
- UNLESS OTHERWISE NOTED ON CONTRACT DRAWINGS, CLEAR ALL OBSTRUCTIONS PROTRUDING FROM EXISTING GRADE INCLUDING, BUT NOT LIMITED TO SIDEWALK, CURBS, GUARDRAILS, TRAFFIC SIGNS, CONCRETE PADS, EXTERIOR STAIRCASES, PLATFORMS, RAILINGS AND THEIR ASSOCIATED FOUNDATION.
- FREE ACCESS TO FIRE HYDRANTS AND TO OUTSIDE CONNECTIONS FOR STANDPIPES, SPRINKLERS, OR OTHER FIRE EXTINGUISHING EQUIPMENT, WHETHER PERMANENT OR TEMPORARY SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES.
- NO MATERIAL, EQUIPMENT OR CONSTRUCTION SHALL INTERFERE WITH ACCESS TO HYDRANTS, SIAMSE CONNECTIONS OR FIRE EXTINGUISHING EQUIPMENT.
- FOR RECYCLING OF DESIGNATED DEBRIS MATERIAL, SEE SPECIFICATION SECTION 02050.
- STOCKPILES OF DEBRIS AND SOIL SHALL BE SECURED AND LOCATED WITHIN PERIMETER FENCE. STOCKPILES SHALL BE NO HIGHER THAN EIGHT FEET IN HEIGHT. SEE CIVIL DRAWINGS FOR PERIMETER SPRAY WATER TO WET DOWN STOCKPILES FOR DUST CONTROL. MATERIALS CAPABLE OF CREATING FOREIGN OBJECT DEBRIS MUST BE CONTINUOUSLY REMOVED DURING CONSTRUCTION.
- STOCKPILES OF DEBRIS FOR EXISTING FOUNDATION ELEMENTS, INCLUDING REINFORCED CONCRETE, GROUND FLOOR SLABS, UNDERGROUND PILE CAPS, PILES, UNDERGROUND GRADE BEAMS, UNDERGROUND TRENCHES AND UNDERGROUND PITS SHALL BE CLEARLY SEPARATED FROM OTHER CONSTRUCTION DEBRIS STOCKPILES. MATERIALS SHOULD BE TESTED FOR CONTAMINATION AND IF POSITIVE, DISPOSED OF AS REQUIRED BY LOCAL JURISDICTIONS.
- PROVIDE ONE TRAINED SITE SECURITY GUARD AT THE CONSTRUCTION ACCESS GATE IN ACCORDANCE WITH NFPA 241 SITE SECURITY GUARD REQUIREMENTS. THE GUARD(S) SHALL BE ON DUTY DURING ALL HOURS. BOTH WHEN OPERATIONS ARE IN PROGRESS AND WHEN OPERATIONS ARE NOT IN PROGRESS.
- ASSIGN WATCHPERSON AND FLAGPERSON IN ACCORDANCE WITH NYCBC 3307.5 REQUIREMENTS.
- PEDESTRIANS SHALL BE PROTECTED DURING ALL CONSTRUCTION AND DEMOLITION ACTIVITIES. FURNISH, INSTALL AND MAINTAIN FENCE AND SIDEWALK SHED (IF REQUIRED) ALONG SIDEWALK DURING DEMOLITION IN ACCORDANCE WITH NYC BUILDING CODE. DESIGN FENCE, SIDEWALK SHED AND ITS LIGHTING SYSTEM ACCORDING TO NYC BUILDING CODE BY PROFESSIONAL ENGINEERS LICENSED IN NEW YORK. CLOSE SIDEWALK TEMPORARILY AS REQUIRED FOR EXTERIOR BUILDING DEMOLITION WORK WHERE PEDESTRIANS COULD NOT BE PROTECTED SUCH AS AT AREA NEAR CONSTRUCTION ENTRANCE GATE. SIDEWALK SHED LIGHTS SHOULD BE POWERED FROM CONTRACTORS TEMPORARY POWER. SIDEWALK SHED AREA NEAR CONSTRUCTION ENTRANCE GATE, SIDEWALK SHED LIGHTS SHOULD BE POWERED FROM CONTRACTORS TEMPORARY POWER. SIDEWALK SHED SHALL NOT BE CONSTRUCTED SO THAT IT IMPEDES ACCESS TO HYDRANTS.
- TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ALL EXISTING UTILITIES THAT ARE TO REMAIN. ANY UTILITIES DAMAGED BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED IMMEDIATELY AT NO ADDITIONAL COST, DESIGNED BY NY STATE LICENSED PROFESSIONAL ENGINEER. ALL DEMOLITION SHALL BE ON HOLD UNTIL THE REPAIR OR REPLACEMENT WORKS HAVE BEEN COMPLETED, AND TO THE SATISFACTION OF THE ENGINEER. CUTTING AND CAPPING OF UTILITIES WILL BE BY OTHERS.
- TAKE ALL NECESSARY PRECAUTIONS TO ENSURE NO DEBRIS OR FOREIGN OBJECT DEBRIS PROJECT BEYOND THE SAFE WORK ZONE PERIMETER ESTABLISHED BY THE CONTRACTOR. AT ALL TIMES, FURNISH AND INSTALL TEMPORARY SOLID FENCING, OTHER THAN PERIMETER FENCE, TO CONTAIN DEBRIS OR FOREIGN OBJECT DEBRIS THAT COULD BE PROJECTED AND/OR BE CARRIED BY WIND INTO ADJACENT AREAS.
- REFER TO SPECIFICATIONS FOR REQUIREMENTS OF ALL TEMPORARY PROTECTIONS AND SHORING DESIGN DRAWINGS AND CALCULATIONS.
- THE LOCATION, ELEVATION AND SIZE OF EXISTING UTILITIES SHOWN ON THE CONTRACT DRAWINGS ARE APPROXIMATE. THE FOLLOWING SHALL BE PERFORMED:
 - VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES WITHIN THE WORK AREA PRIOR TO DEMOLITION.
 - EXERCISE EXTREME CAUTION, INCLUDING HAND EXCAVATION, TO EXPOSE LINES WHEN WORK IS ADJACENT TO EXISTING POWER, COMMUNICATIONS, WATER AND GAS LINES TO PREVENT DAMAGE TO THESE LINES.
 - IMMEDIATELY REPAIR ANY DAMAGE TO EXISTING UTILITIES CAUSED BY THE CONTRACTOR IN A MANNER APPROVED BY THE ENGINEER, AT NO ADDITIONAL COST TO THE AUTHORITY.
- ALLOW TIME FOR THE CM TO PERFORM FIELD SURVEY ON THE LOCATION OF ALL EXISTING PILES, USING CENTER POINT AT TOP OF EACH PILE AS REFERENCE POINT, PRIOR TO SOIL BACKFILL. REFER TO SPECIFICATIONS FOR SUBMITTAL REQUIREMENTS.
- PREVENT WATER PONDING FROM CONTRACTOR'S OPERATIONS. PROMPTLY REMOVE ANY PONDING WATER TO THE SATISFACTION OF THE ENGINEER.
- IT IS ASSUMED THAT ALL STRUCTURAL STEEL IS COATED WITH LEAD CONTAINING PAINT. LEAD CONTAINING PAINT MUST BE REMOVED 4 INCHES ON EACH SIDE OF THE CENTERLINE OF CUT, BOLT ROW, OR WELD FROM STRUCTURAL STEEL PRIOR TO ANY HEATING, WELDING, FLAME CUTTING, OR SAW CUTTING. REFER TO SPECIFICATIONS FOR PROPER ABATEMENT PROCEDURES.
- CONTRACTOR SHOULD CONFORM TO THE FOLLOWING CODES, STANDARDS, AND SPECIAL INSPECTIONS THROUGHOUT THE DEMOLITION: 2014 NYC BUILDING CODE, 2014 NYC FIRE CODE, AND NYC BUILDING CODE BC 1704.20.
- MAINTAIN SECURITY FENCING AT ALL TIMES.
- ALL EROSION AND SEDIMENT CONTROL DEVICES SHALL BE COMPLETED PRIOR TO COMMENCEMENT OF DEMOLITION.
- HORIZONTAL CONTROL POINTS: ALL BEARINGS AND COORDINATES ARE BASED ON NORTH AMERICAN DATUM OF 1983 (NAD83/2007) AND NEW YORK STATE PLANE COORDINATE SYSTEM LONG ISLAND (NYSPLS L1).
- VERTICAL CONTROL POINTS: ALL VERTICAL ELEVATIONS AND CONTOURS ARE IN FEET AND REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVDB8).

STRUCTURAL NOTES:

- VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING STRUCTURES CONTROLLING NEW CONSTRUCTION IN THE FIELD. PREPARE SHOP DRAWINGS BASED ON THE ACTUAL FIELD CONDITIONS.
- ANY PORTION OF EXISTING WORK WHICH IS TO REMAIN THAT IS DISTURBED OR DAMAGED IN THE COURSE OF DEMOLITION SHALL BE RESTORED TO A CONDITION AS GOOD AS THAT EXISTING BEFORE THE COMMENCEMENT OF THE WORK.
- ELEVATIONS INDICATED ON ALL DEMOLITION DRAWINGS BASED ON NAVD88. ELEVATIONS SHOWN ON ALL REFERENCE DRAWINGS BASED ON NGVD29. TO CONVERT THE REFERENCE DRAWING ELEVATIONS FROM NGVD29 TO NAVD88, SUBTRACT 3.2 FEET FROM THE REFERENCE DRAWING ELEVATIONS.
- MAINTAIN AND PROTECT EXISTING UTILITIES THAT MUST REMAIN IN SERVICE AND EQUIPMENT. NOTIFY THE ENGINEER 48 HOURS IN ADVANCE OF ANY WORK ON OR IN THE VICINITY OF ANY DUCT LINES. USE HAND EXCAVATION TO DETERMINE THE EXACT LOCATION OF ALL UTILITIES. INSULATE ALL CONSTRUCTION EQUIPMENT TO AVOID ACCIDENTAL GROUNDING.
- REFER TO SPECIFICATIONS FOR SUBMITTAL REQUIREMENTS FOR ALL TEMPORARY CONSTRUCTION STRUCTURES USED FOR SHORING, BRACING AND SUPPORT.
- QUALIFIED PERSONNEL, AS DEFINED IN NYCBC SECTION 3302, SHALL BE USED FOR REMOVAL AND DEMOLITION OPERATIONS. REMOVAL AND DEMOLITION OPERATIONS SHALL BE PERFORMED IN A CAREFUL AND CONTROLLED MANNER TO AVOID HAZARDS TO PERSONS, DAMAGE TO PROPERTY AND ANY SPREADING OF DUST AND FLYING PARTICLES.
- NO PORTIONS OF THE REMOVAL SHALL BE PERMITTED TO FALL NOR SHALL ANY DEBRIS BE DROPPED. PROPER METHODS SHALL BE USED TO ENSURE LIFE SAFETY AND INTEGRITY OF THE EXISTING STRUCTURE.
- ASBESTOS ABATEMENT AND HAZARDOUS MATERIALS REMEDIATION SHALL BE COMPLETED PRIOR TO COMMENCEMENT OF STRUCTURAL DEMOLITION.

MECHANICAL NOTES:

HVAC DEMOLITION NOTES:

- PRIOR TO REMOVAL OF MECHANICAL EQUIPMENT, DISCONNECT PIPING AND ENSURE ELECTRICAL POWER SUPPLY HAS BEEN DISCONNECTED.
- PRIOR TO REMOVAL OF ALL WATER AND OIL PIPING, DRAIN THE PIPING AND DISPOSE WATER AND OIL IN ACCORDANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS.
- REMOVE AND RECOVER ALL REFRIGERANTS FROM ALL REFRIGERATION EQUIPMENT AND PIPING PRIOR TO COMMENCING ANY EQUIPMENT AND/OR BUILDING DEMOLITION. DISCONNECT AND REMOVE ALL REFRIGERATION EQUIPMENT INCLUDING PIPING, ELECTRICAL POWER SUPPLY AND AUXILIARY EQUIPMENT PRIOR TO BUILDING DEMOLITION.
- REMOVE ALL HVAC EQUIPMENT INCLUDING, BUT NOT LIMITED TO, SUPPLY AIR FANS, VENTILATING UNITS, FANS, DUCTWORK, FLUES, PUMPS, PIPING, ELECTRICAL POWER SUPPLY AND CONTROLS PRIOR TO BUILDING DEMOLITION.

ELEVATOR DEMOLITION NOTES:

- ELEVATOR SHALL BE POSITIONED AT THE LOWEST LEVEL PRIOR TO ELECTRICITY SHUT DOWN.
- DISCONNECT, DISMANTLE AND REMOVE THE ELEVATOR CAB AND ELECTRICAL AND HYDRAULIC EQUIPMENT AND APPURTENANCES, INCLUDING PIPING, ELECTRICAL POWER SUPPLY, TANK, MOTORS, CONTROLS, SUPPORTS, ETC.
- PRIOR TO HYDRAULIC FLUID REMOVAL, DRAIN THE PIPING AND DISPOSE HYDRAULIC FLUID IN ACCORDANCE WITH APPLICABLE ENVIRONMENTAL REGULATIONS.
- ELEVATORS BEING PERMANENTLY REMOVED FROM SERVICE (DISMANTLED) SHALL FOLLOW APPLICABLE ASME CODE A17.1-2000 WITH SUPPLEMENTS A17.1a-2002, AND A17.1b-2003, AND NYC BUILDING CODE (INCLUDING APPENDIX K-SECTION 8.11.1.4. ELEVATORS PLACED OUT OF SERVICE (DISMANTLED), AN ELEVATOR INSPECTION WILL BE REQUIRED PER NYC BUILDING CODE 8.11.1.4.

FIRE PROTECTION DEMOLITION NOTES:

- DETERMINE MEANS AND METHODS FOR FULL DEMOLITION OF ALL PLUMBING AND FIRE PROTECTION SYSTEMS. COORDINATE PLUMBING AND FIRE PROTECTION DEMOLITION WORK WITH THE CONSTRUCTION PHASING PLAN SHOWN ON VOLUME 3 AND IN THE SPECIFICATIONS.
- PROVIDE THE ENGINEER 48 HOURS ADVANCE NOTICE OF THE INTENTION TO START FIELD WORK AT THE CONSTRUCTION SITE. WORK SHALL NOT BE STARTED UNTIL ALL NECESSARY EQUIPMENT AND MATERIALS ARE AT THE SITE.
- PERFORM ALL CUTTING, DISASSEMBLY, TRANSPORTING, RIGGING, STAGING OF REMOVALS, REMOVAL AND DISPOSAL OF EXISTING EQUIPMENT, ASSOCIATED PIPING AND APPURTENANCES NECESSARY TO COMPLETE THE WORK OF THIS CONTRACT.
- FIRE PROTECTION STANDPIPE SYSTEM: EXISTING STANDPIPE IS TO BE ENERGIZED AND FILLED PRIOR TO DEMOLITION START. ALL STANDPIPES ARE TO BE ACTIVE, WITH THE EXCEPTION OF WHEN THEY ARE BEING DEMOLISHED, THROUGHOUT THE DEMOLITION. STAND PIPES IN EXISTING STAIR TOWERS SHALL ALSO CONFORM TO THIS REQUIREMENT.

PLUMBING DEMOLITION NOTES

- PRIOR TO DISCONNECTING AND REMOVAL OF EXISTING PLUMBING FIXTURES AND PIPING, ENSURE THAT WATER SUPPLY HAS BEEN DISCONNECTED FROM THE MAIN WATER SERVICE.
- READ AND RECORD EXISTING DOMESTIC WATER METER READING BEFORE REMOVING. SUBMIT A TABULATION WITH METER READING TO THE ENGINEER. ALL EXISTING DOMESTIC WATER METERS SHALL BE RETURNED TO THE ENGINEER.
- PLUMBING PIPING BELOW GRADE MAY BE ABANDONED IN PLACE.

DEMOLITION NOTES

- REFER TO MEP PLANS FOR FURTHER INFORMATION.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR BECOMING FAMILIAR WITH THE BUILDING RULES AND REGULATIONS BEFORE AND DURING THE COURSE OF CONSTRUCTION. SHOULD A CONFLICT ARISE BETWEEN THE CONTRACT DOCUMENTS AND THE BUILDING RULES, THE CONTRACTOR IS TO NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY. BUILDING RULES AND REGULATIONS SHALL GOVERN EXCEPT WHERE THEY ARE IN CONFLICT WITH APPLICABLE CODES AND ORDINANCES.
- GENERAL CONTRACTOR IS TO COORDINATE ALL PHASES OF CONSTRUCTION FOR PROJECT AND NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES OR CONFLICTING CONDITIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK PRIOR TO THE START OF CONSTRUCTION.
- GENERAL CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING ITEMS TO REMAIN THROUGHOUT THE COURSE OF DEMOLITION.
- DEMOLITION SHALL BE DONE IN NEAT WORKMAN LIKE MANNER WITHIN THE LIMITS INDICATED IN THE DRAWINGS AND IN ALL CASES TO THE EXTENT NEEDED TO PRODUCE THE INTENDED WORK.
- DEBRIS REMOVAL:
THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION AND REMOVAL OF ALL DEBRIS AND DISCARDED AND/OR EQUIPMENT AS INDICATED WITHIN THE SPACE.
(A) THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF MATERIALS FROM THE BUILDING PREMISES ON A DAILY BASIS. DO NOT MIX DEMOLITION DEBRIS WITH THAT OF BUILDING OCCUPANTS.
- NOISE:
ALL MAJOR DEMOLITION AND NOISE CREATING WORK SHALL OCCUR UNDER THE HOURS PER AIRPORT AUTHORITY'S RULES AND REGULATIONS.
- PROTECTION:
(A) THE CONTRACTOR IS TO CONFIRM WITH AIRPORT AUTHORITY'S FIELD REPRESENTATIVE BEFORE THE START OF DEMOLITION WHICH ITEMS ARE TO BE SAVED FROM DEMOLITION. AIRPORT AUTHORITY TO DIRECT CONTRACTOR TO EITHER PROTECT THESE ITEMS OR REMOVE TO STORAGE.
(B) THE CONTRACTOR IS TO CONFIRM WITH AIRPORT AUTHORITY BEFORE THE START OF DEMOLITION OF WHICH ITEMS INDICATED ON THE DRAWINGS ARE DEEMED TO BE NOT REQUIRED BY THE CLIENT AND ARE TO BE REMOVED FROM THE PREMISES. THERE IS TO BE NO DUST INFILTRATION BETWEEN EXISTING OCCUPIED AND CONSTRUCTION AREAS.
(C) THE CONTRACTOR IS RESPONSIBLE TO PROTECT ALL EXISTING ITEMS TO REMAIN (I.E. WINDOWS, DOORS, ETC.) THROUGHOUT THE COURSE OF DEMOLITION AND CONSTRUCTION.
(D) THE CONTRACTOR MUST PROVIDE ALL REQUIRED PROTECTION TO ALL SURROUNDING AREAS THROUGHOUT THE COURSE OF DEMOLITION AND CONSTRUCTION. THERE IS TO BE NO DUST INFILTRATION BETWEEN EXISTING OCCUPIED AND CONSTRUCTION AREAS.
- REPAIR/DAMAGES:
THE CONTRACTOR IS RESPONSIBLE TO REPAIR AND/OR REPLACE ANY DAMAGES IN THE SURROUNDING AREAS AND IN THE AREA OF WORK CAUSED BY DEMOLITION AND CONSTRUCTION PERFORMED IN THE AREA OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY LOSSES INCURRED IN THE EVENT THAT THE LOSS OF ANY SERVICES PREVENTS THE AIRPORT AUTHORITY'S FROM CONDUCTING BUSINESS.
- ALL DEMOLITION WORK SHALL BE COORDINATED WITH HAZMAT WORK.
- CONTRACTOR TO PROVIDE TEMPORARY FIRE EXTINGUISHERS AS REQUIRED THROUGHOUT THE COURSE OF CONSTRUCTION.
- REUSE OF MATERIALS:
GENERAL CONTRACTOR TO REMOVE FROM SITE ALL ITEMS DEEMED NOT REUSABLE BY THE AIRPORT AUTHORITY, GENERAL CONTRACTOR TO COORDINATE REUSE OF MATERIAL WITH THE AIRPORT AUTHORITY'S FIELD REPRESENTATIVE.
- FLOORS:
THE CONTRACTOR IS TO REMOVE ALL FINISH FLOORING TO SLAB WHERE NOTED ON THE DRAWINGS.
(A) REMOVE RESILIENT FLOORING INCLUDING ALL FLOOR TILES. FOR FULL AREA OF WORK REMOVE MASTIC AS NECESSARY.
(B) SLAB SHOULD BE LEFT IN A SMOOTH CONDITION FOR NEW FINISHES TO BE APPLIED LEVEL.
- BASE:
THE CONTRACTOR IS TO REMOVE ALL RESILIENT BASE WHERE INDICATED IN AREA OF WORK, UNLESS OTHERWISE NOTED.
- CEILINGS:
(A) WHERE NOTED, ALL CEILINGS IN THEIR ENTIRETY U.O.N., INCLUDING HUNG CEILING SYSTEM, PLASTER, GYPSUM WALL BOARD AND REGISTERS. COORDINATE W/ NEW CEILING MANUFACTURERS FOR THEIR PRACTICES & PROCEDURES FOR RECLAMATION & RECYCLE.
(B) REMOVE ALL ASSOCIATED HANGERS, GGRID, ANCHORS, TILES, PAINT, ETC. BACK TO SLAB ABOVE.
(C) REMOVE ALL EQUIPMENT INCLUDING SPEAKERS, DUCTS, DIFFUSERS, ETC. IN INDICATED AREAS, U.O.N.
- DOORS AND FRAMES:
REMOVE DOORS, FRAMES, THRESHOLDS AND RELATED HARDWARE, WHERE INDICATED IN AREA OF WORK.
- FINISHES:
REMOVE ARCHITECTURAL FINISHES WHERE NOTED INCLUDING CARPET FLOORING, FLOOR TILES, WALLS, SOFFITS AND CEILINGS. SEE MEP DRAWINGS FOR ADDITIONAL REMOVAL SCOPE OF WORK.
- FURNITURE:
ALL FURNITURE AND SYSTEM FURNITURE IN THE AREA OF WORK SHALL REMAIN (U.O.N.) SEE NOTES ON DRAWINGS REGARDING TEMPORARY RELOCATION & STORAGE OF THESE ITEMS.
- ANY REMOVAL AND ANY NEW ELECTRICAL / MECHANICAL / PLUMBING WORK ON THIS FLOOR AND ANY OTHER FLOOR SHALL OCCUR AS PER AIRPORT AUTHORITY'S HOUSE RULES.
- ALL REMOVALS OF EXISTING CABLING IN GENERAL TO BE DEMOLISHED SHOULD BE COORDINATED WITH THE AIRPORT AUTHORITY'S FIELD REPRESENTATIVE.
- TEMPORARY POWER AND LIGHTING:
PROVIDE THROUGHOUT COURSE OF DEMOLITION WHERE REQUIRED. TEMPORARY LIGHTING TO REMAIN ON JOB SITE WHEN DEMO IS COMPLETED.
- THE CONTRACTOR SHALL PROBE ALL WIRES/CABLES PRIOR TO REMOVAL TO INSURE THAT NO OPERATIONS ARE INADVERTENTLY INTERRUPTED. CONFIRM WIRE IS NON-ASBESTOS WITH AIRPORT AUTHORITY'S FIELD REPRESENTATIVE PRIOR TO REMOVAL.
- FIRE ALARM:
(A) FIRE AND SMOKE DETECTION SYSTEM (EXISTING) TO REMAIN IN OPERATION DURING DEMOLITION AND CONSTRUCTION INCLUDING ALL STROBES.
(B) CONTRACTOR WILL BE RESPONSIBLE TO REPAIR FIRE ALARM SYSTEM IF WIRES ARE CUT. COORDINATE WITH BUILDING FIRE ALARM VENDOR.
- DUCTWORK:
REFER TO MEP PLANS FOR DETAILS. SEAL MAIN BRANCHES THAT ARE TO REMAIN IN USE TO PREVENT DUST INFILTRATION. COORDINATE WITH EXISTING DUCTWORK SERVING AREAS WHICH WILL REMAIN OCCUPIED. THERE SHALL BE NO INTERRUPTION OF MEP AND FIRE PROTECTION SERVICES IN AREAS WHICH REMAIN OCCUPIED DURING THE COURSE OF DEMOLITION AND NEW CONSTRUCTION WORK.

SAFETY

- SAFETY DURING CONSTRUCTION AND DEMOLITION SHALL COMPLY WITH PENNSYLVANIA STATE BUILDING CODE, 2009 INTERNATIONAL BUILDING CODE.
 - THE CONTRACT DOCUMENTS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE CONTRACTOR HAS FULL RESPONSIBILITY FOR THE CONSTRUCTION PROCESS, SITE CONDITIONS, OPERATIONS, EQUIPMENT AND PERSONNEL, THE MAINTENANCE OF A SAFE WORKING ENVIRONMENT, AND SAFETY IN OR AROUND THE SITE OF WORK, AS MAINTAINED BY THE OCCUPATIONAL SAFETY AND HEALTH HAZARDOUS ASSOCIATION (OSHA) GUIDELINES.
 - THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ALL SHORING, BRACING, ENCLOSURES, BARRIERS, SCAFFOLDING, ETC. AS REQUIRED TO PROVIDE A SAFE WORKING ENVIRONMENT AS DICTATED BY SITE CONDITIONS OR THE PROGRESS OF WORK. PROPERTY BELONGING TO THE OWNER SHALL BE PROTECTED THROUGHOUT THE WORK.
 - DURING THE ENTIRE CONSTRUCTION PERIOD, ALL EXISTING LIGHTING, FIRE PROTECTION DEVICES AND ALARMS SHALL BE CONTINUOUSLY MAINTAINED IN CONFORMANCE WITH LOCAL BUILDING CODE AND OTHER GOVERNING ENTITY REQUIREMENTS.
 - THE CONTRACTOR SHALL SAFE OFF AREA WHERE NEW WORK IS BEING PERFORMED, AND SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING ALL DANGEROUS AREAS FROM ENTRY BY UNAUTHORIZED PARTIES.
 - IN ACCORDANCE WITH STANDARD CODE REGULATIONS, A SAFETY BARRIER MUST BE ERCTED AROUND THE CONSTRUCTION AREAS FACING AREAS OF PEDESTRIAN TRAFFIC. COMPLY WITH OWNER APPROVED STANDARDS FOR BARRIER CONSTRUCTION AND/OR ALL AUTHORITIES HAVING JURISDICTION.
 - COMPLETE PROTECTION SHALL BE GIVEN TO ALL OWNER EQUIPMENT. THE ENTIRE CONSTRUCTION SITE SHALL BE SEPARATED FROM ADJACENT BUILDING AREAS BY MEANS OF A BARRIER OVER THE EXISTING FACADE. ALL ADJACENT AREAS SHALL BE KEPT FREE OF DUST AND CONSTRUCTION DEBRIS.
 - FIRE EXITS SHALL BE KEPT READILY ACCESSIBLE AND UNRESTRICTED AT ALL TIMES.
 - BUILDING MATERIALS, TOOLS AND EQUIPMENT SHALL BE STORED WITHIN THE PREMISES AS APPROVED BY THE OWNER. AT NO TIME SHALL SUCH ITEMS BE STORED IN OPEN AREAS INCLUDING CORRIDORS OR STAIR WELLS.
 - SUBMIT TO THE AUTHORITY FOR REVIEW A SITE SAFETY PLAN(S) PREPARED AND SIGNED BY A PENNSYLVANIA STATE LICENSED SITE SAFETY MANAGER. THE PLAN(S) SHALL BE COMPLETE, REFLECTING THE ENTIRE SITE AND SHALL SHOW ANY PHASED PROTECTION. THE SITE SAFETY PLAN(S) SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO NOTES, SIDEWALK BRIDGES, FENCES, EGRESS, SCAFFOLDING, FIRE PROTECTION, ETC. THEY SHOULD BE ADDRESS ANY POTENTIAL INTERACTION BETWEEN THE BUILDING OCCUPANTS AND GENERAL PUBLIC AND EXPOSURE TO THE CONSTRUCTION PROCESS.
- SEE SPECIFICATIONS GENERAL AND SPECIAL CONDITIONS FOR DETAILS.
 - NO WORK IS TO PROCEED UNTIL SITE SAFETY PLANS ARE APPROVED BY THE AUTHORITY.

**BELLA ABZUG PARK
BLOCKS 5 & 6**

CLIENT GROUP



DESIGNERS



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**NOT FOR
CONSTRUCTION**

STATUS

REVISIONS

NO.	DATE	DESCRIPTION

DRAWING TITLE

**GENERAL
DEMOLITION NOTES**

DRAWING NUMBER

G-002

Seal	DATE	04/03/2020
	SCALE	1/8" = 1'-0"
	DRAWN BY	D.SYROM
	CHECKED BY	W.LEE
	SHEET NO.	XX OF 11



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BLOCKS 5 & 6**



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**NOT FOR
CONSTRUCTION**

STATUS

REVISIONS

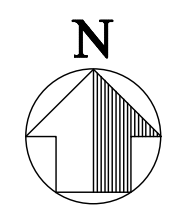
NO.	DATE	DESCRIPTION

DRAWING TITLE
SITE PLAN

DRAWING NUMBER
G-003

Seal	DATE	04/03/2020
	SCALE	1/4" = 1'-0"
	DRAWN BY	D.SYROM
	CHECKED BY	W.LEE
	SHEET NO.	XX OF 11

1 SITE PLAN
G-003 SCALE: N.T.S.



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CONSTRUCTION**

STATUS

REVISIONS

NO.	DATE	DESCRIPTION

DRAWING TITLE

**CELLAR FLOOR
DEMOLITION PLAN**

DRAWING NUMBER

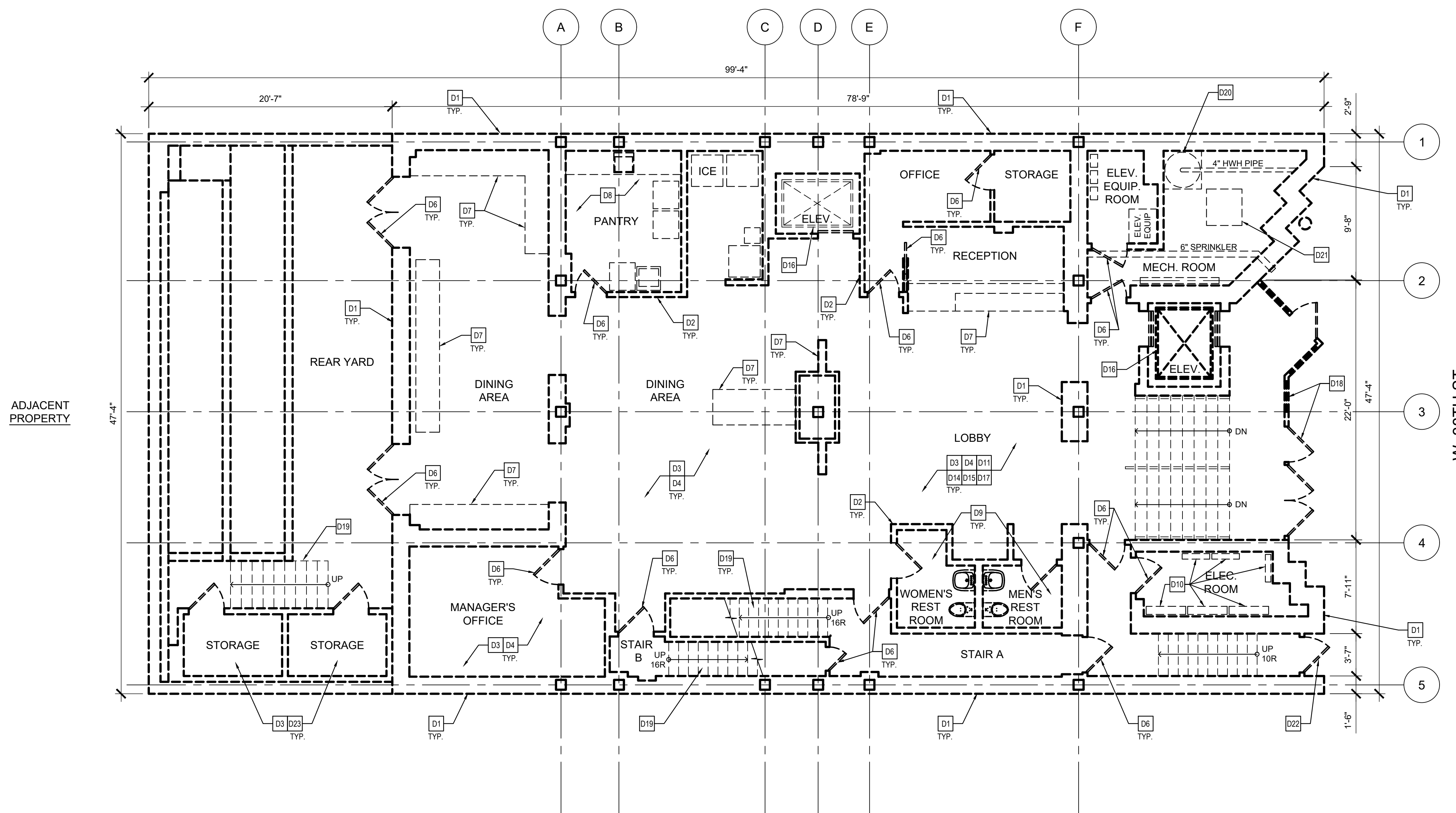
DM-100

Seal

DATE 04/03/2020
SCALE 1/8" = 1'-0"
DRAWN BY D.SYROM
CHECKED BY W.LEE

SHEET NO. XX OF 11

24" x 36"



1 CELLAR LEVEL DEMOLITION PLAN
DM-100 SCALE: 3/16" = 1'-0"

DEMOLITION KEY NOTES

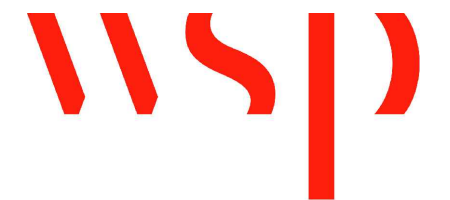
D1 EXISTING EXTERIOR MASONRY AND CONCRETE FOUNDATION WALLS TO BE REMOVED. U.O.N	D12 EXISTING COMMUNICATION SYSTEM INCLUDING PANELS, DEVICES, OUTLETS, AND ALL ASSOCIATED WIRING AND CONDUITS TO BE REMOVED THROUGHOUT.	D21 REMOVE ROOFTOP METAL GRATE PLATFORMS, CATWALK, STAIRS, RAILINGS, AND ALL ASSOCIATED METAL SUPPORT STRUCTURE.
D2 EXISTING INTERIOR METAL FRAMED PARTITIONS TO BE REMOVED.	D13 REMOVE EXISTING HVAC SYSTEM INCLUDING AIR DIFFUSERS, THERMOSTATS, AND ALL ASSOCIATED DUCTWORK, CONDUITS AND WIRING THROUGHOUT.	D22 EXISTING MASONRY PARAPET, FLASHING AND WATERPROOFING TO BE REMOVED.
D3 EXISTING CONCRETE SLAB TO BE REMOVED, TYP. U.O.N	D14 EXISTING FIRE PROTECTION SYSTEM INCLUDING SPRINKLERS, FIRE HOSE, AND ALL ASSOCIATED PIPING, RISER, VALVES, AND PUMPS TO BE REMOVED.	
D4 REMOVE ALL INTERIOR FINISHES INCLUDING FLOORING (CARPET, VCT & PORCELAIN TILE), WALL BASE, WALL COVERING, ETC.	D15 REMOVE EXISTING PLASTER CEILING THROUGHOUT.	
D5 EXISTING WINDOWS AND WINDOW COVERING TO BE REMOVED THROUGHOUT.	D16 EXISTING ELEVATOR SYSTEM, HOISTWAY STRUCTURE, ALL ASSOCIATED ACCESSORIES INCLUDING CONTROL PANELS AND ELECTRICAL SYSTEM TO BE REMOVED.	
D6 EXISTING H.M. DOORS AND FRAMES TO BE REMOVED	D17 EXISTING FIRE ALARM SYSTEM, INCLUDING PANELS, STROBES, HORNS, AND ALL ASSOCIATED CONDUITS AND WIRING TO BE REMOVED.	
D7 REMOVE ALL MILLWORK AND BUILT-IN FURNISHINGS THROUGHOUT, INCLUDING BENCHES, COUNTERS, CABINETS AND SHELVING, ETC.	D18 REMOVE EXISTING GENERATOR AND STEEL SUPPORT STRUCTURES.	
D8 EXISTING WATER HEATERS, BOILER AND ALL ASSOCIATED PLUMBING PIPING, CONTROL PANELS AND WIRING TO BE REMOVED	D19 REMOVE EXISTING STAIRS AND RAILINGS THROUGHOUT, TYP.	
D9 REMOVE ALL EXISTING PLUMBING FIXTURES INCLUDING TOILETS, SINKS, BATHTUBS, AND ALL ASSOCIATED PLUMBING PIPING/DRAINAGE LINES. CUT AND CAP PLUMBING LINES AT THE BUILDING'S CONNECTION.	D20 REMOVE EXISTING ELEVATED WATER TANK, ASSOCIATED PIPING, AND STEEL SUPPORT STRUCTURE.	
D10 EXISTING ROOFING, WATERPROOFING, FLASHING, ROOF SLAB, ROOF DRAINS AND ASSOCIATED PIPING TO BE REMOVED		
D11 REMOVE ALL EXISTING ELECTRICAL EQUIPMENT AND FIXTURES INCLUDING LIGHT FIXTURES, SWITCHES, OUTLETS, AND ALL ASSOCIATED CONDUITS AND WIRING.		

BELLA ABZUG PARK
BLOCKS 5 & 6

CLIENT GROUP



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STATUS

REVISIONS

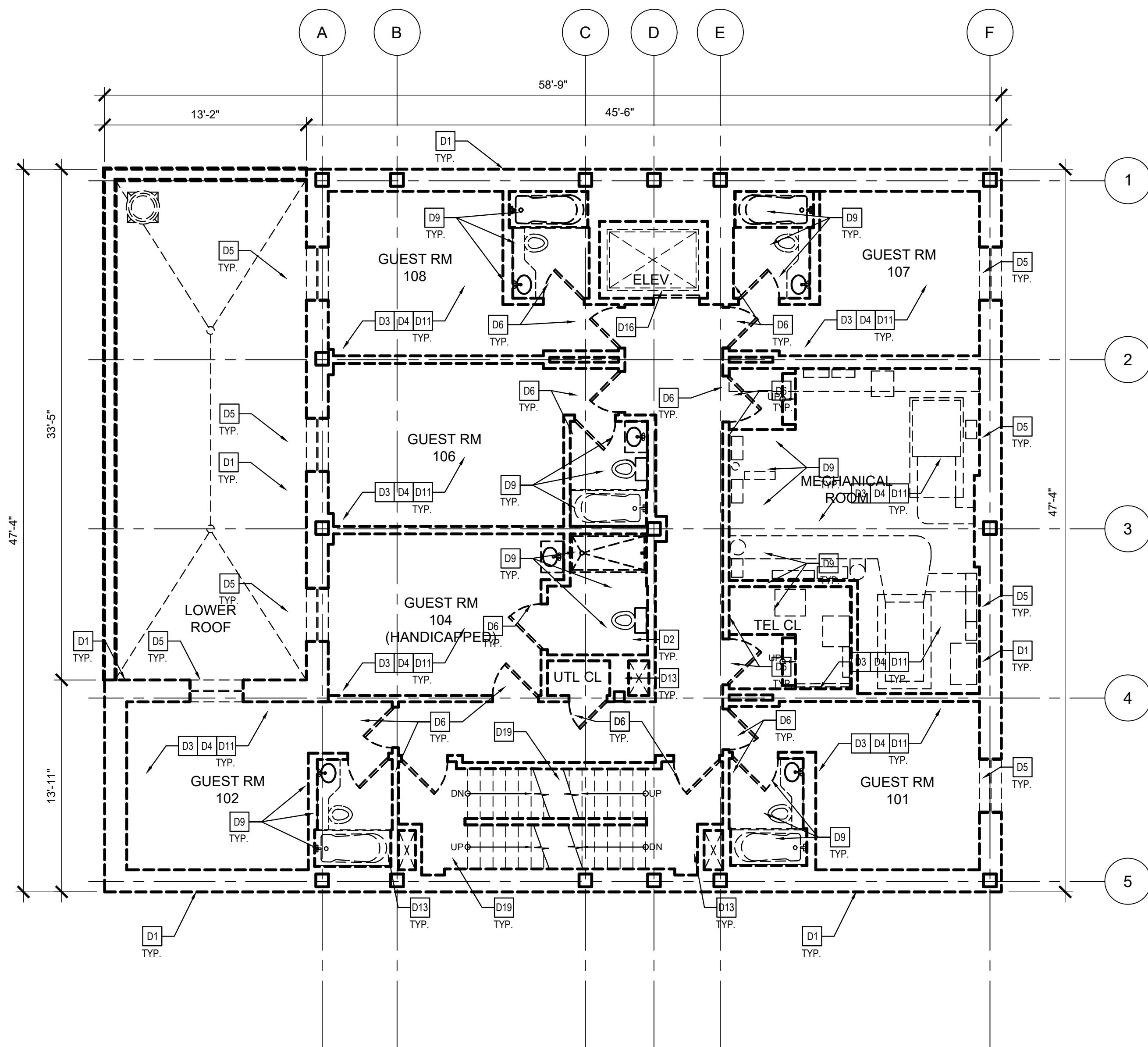
NO.	DATE	DESCRIPTION

DRAWING TITLE
1ST FLOOR & TYPICAL 2ND-5TH FLOOR DEMO. PLANS

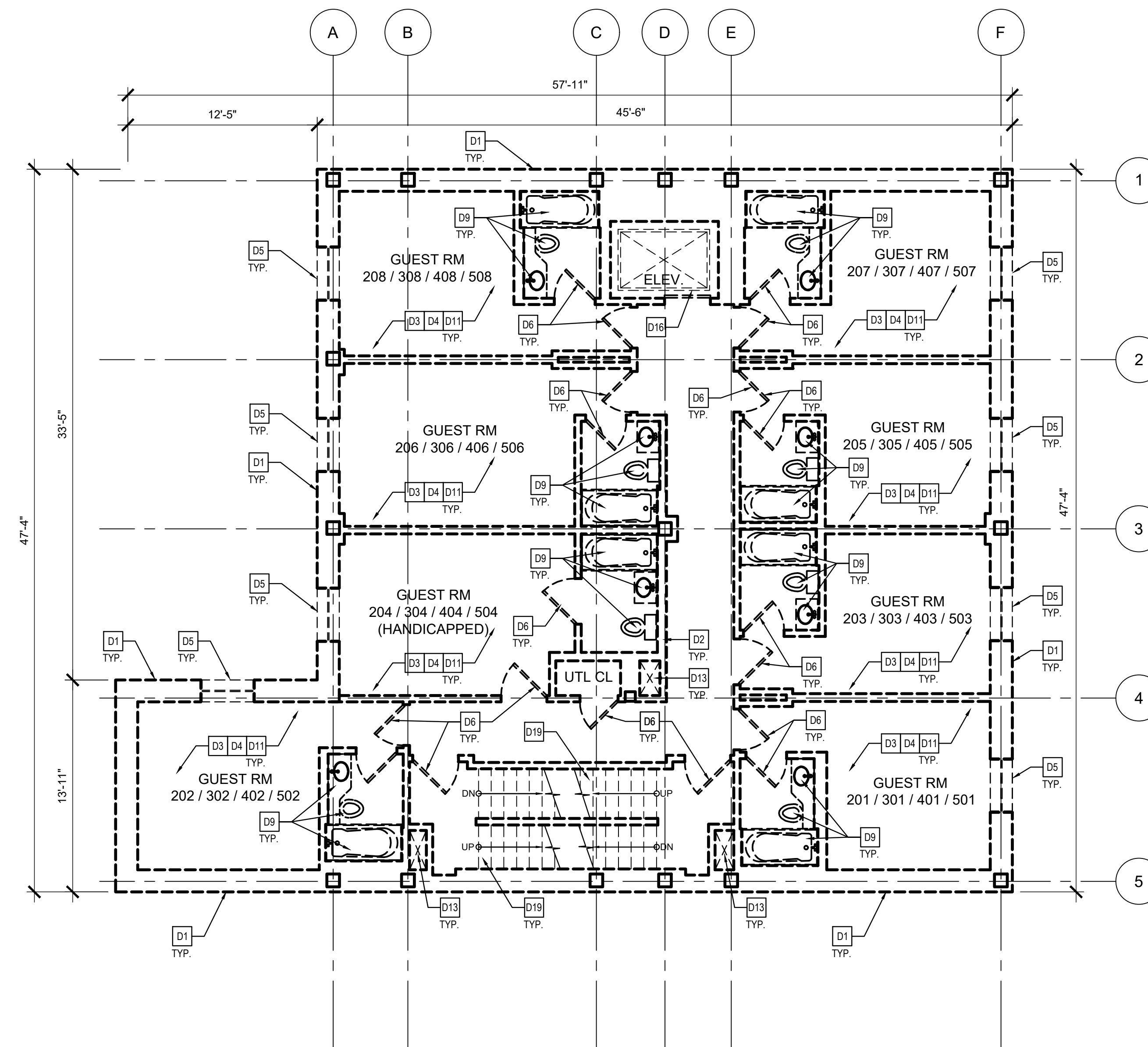
DRAWING NUMBER
DM-101

Seal	DATE	04/03/2020
	SCALE	1/8" = 1'-0"
	DRAWN BY	D.SYROM
	CHECKED BY	W.LEE

SHEET NO. XX OF 11
24" x 36"



1 FIRST FLOOR DEMOLITION PLAN
DM-101 SCALE: 3/16" = 1'-0"



2 TYPICAL 2nd - 5th FLOOR DEMOLITION PLANS
DM-101 SCALE: 3/16" = 1'-0"

DEMOLITION KEY NOTES

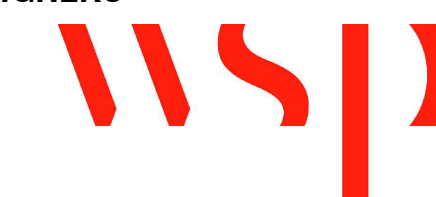
- | | | | | | |
|-----|---|-----|--|-----|--|
| D1 | EXISTING EXTERIOR MASONRY AND CONCRETE FOUNDATION WALLS TO BE REMOVED. U.O.N | D12 | EXISTING COMMUNICATION SYSTEM INCLUDING PANELS, DEVICES, OUTLETS, AND ALL ASSOCIATED WIRING AND CONDUITS TO BE REMOVED THROUGHOUT. | D21 | REMOVE ROOFTOP METAL GRATE PLATFORMS, CATWALK, STAIRS, RAILINGS, AND ALL ASSOCIATED METAL SUPPORT STRUCTURE. |
| D2 | EXISTING INTERIOR METAL FRAMED PARTITIONS TO BE REMOVED. | D13 | REMOVE EXISTING HVAC SYSTEM INCLUDING AIR DIFFUSERS, THERMOSTATS, AND ALL ASSOCIATED DUCTWORK, CONDUITS AND WIRING THROUGHOUT. | D22 | EXISTING MASONRY PARAPET, FLASHING AND WATERPROOFING TO BE REMOVED. |
| D3 | EXISTING CONCRETE SLAB TO BE REMOVED, TYP. U.O.N | D14 | EXISTING FIRE PROTECTION SYSTEM INCLUDING SPRINKLERS, FIRE HOSE, AND ALL ASSOCIATED PIPING, RISER, VALVES, AND PUMPS TO BE REMOVED. | | |
| D4 | REMOVE ALL INTERIOR FINISHES INCLUDING FLOORING (CARPET, VCT & PORCELAIN TILE), WALL BASE, WALL COVERING, ETC. | D15 | REMOVE EXISTING PLASTER CEILING THROUGHOUT. | | |
| D5 | EXISTING WINDOWS AND WINDOW COVERING TO BE REMOVED THROUGHOUT. | D16 | EXISTING ELEVATOR SYSTEM, HOISTWAY STRUCTURE, ALL ASSOCIATED ACCESSORIES INCLUDING CONTROL PANELS AND ELECTRICAL SYSTEM TO BE REMOVED. | | |
| D6 | EXISTING H.M. DOORS AND FRAMES TO BE REMOVED | D17 | EXISTING FIRE ALARM SYSTEM, INCLUDING PANELS, STROBES, HORNS, AND ALL ASSOCIATED CONDUITS AND WIRING TO BE REMOVED. | | |
| D7 | REMOVE ALL MILLWORK AND BUILT-IN FURNISHINGS THROUGHOUT, INCLUDING BENCHES, COUNTERS, CABINETS AND SHELVING, ETC. | D18 | REMOVE EXISTING GENERATOR AND STEEL SUPPORT STRUCTURES. | | |
| D8 | EXISTING WATER HEATERS, BOILER AND ALL ASSOCIATED PLUMBING PIPING, CONTROL PANELS AND WIRING TO BE REMOVED | D19 | REMOVE EXISTING STAIRS AND RAILINGS THROUGHOUT, TYP. | | |
| D9 | REMOVE ALL EXISTING PLUMBING FIXTURES INCLUDING TOILETS, SINKS, BATHTUBS, AND ALL ASSOCIATED PLUMBING PIPING/DRAINAGE LINES, CUT AND CAP PLUMBING LINES AT THE BUILDING'S CONNECTION. | D20 | REMOVE EXISTING ELEVATED WATER TANK, ASSOCIATED PIPING, AND STEEL SUPPORT STRUCTURE. | | |
| D10 | EXISTING ROOFING, WATERPROOFING, FLASHING, ROOF SLAB, ROOF DRAINS AND ASSOCIATED PIPING TO BE REMOVED | | | | |
| D11 | REMOVE ALL EXISTING ELECTRICAL EQUIPMENT AND FIXTURES INCLUDING LIGHT FIXTURES, SWITCHES, OUTLETS, AND ALL ASSOCIATED CONDUITS AND WIRING. | | | | |

BELLA ABZUG PARK
BLOCKS 5 & 6

CLIENT GROUP



DESIGNERS



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CONSTRUCTION**

STATUS

REVISIONS

NO.	DATE	DESCRIPTION

DRAWING TITLE

TYPICAL 6TH-8TH & 9TH-10TH
FLOOR DEMO. PLANS

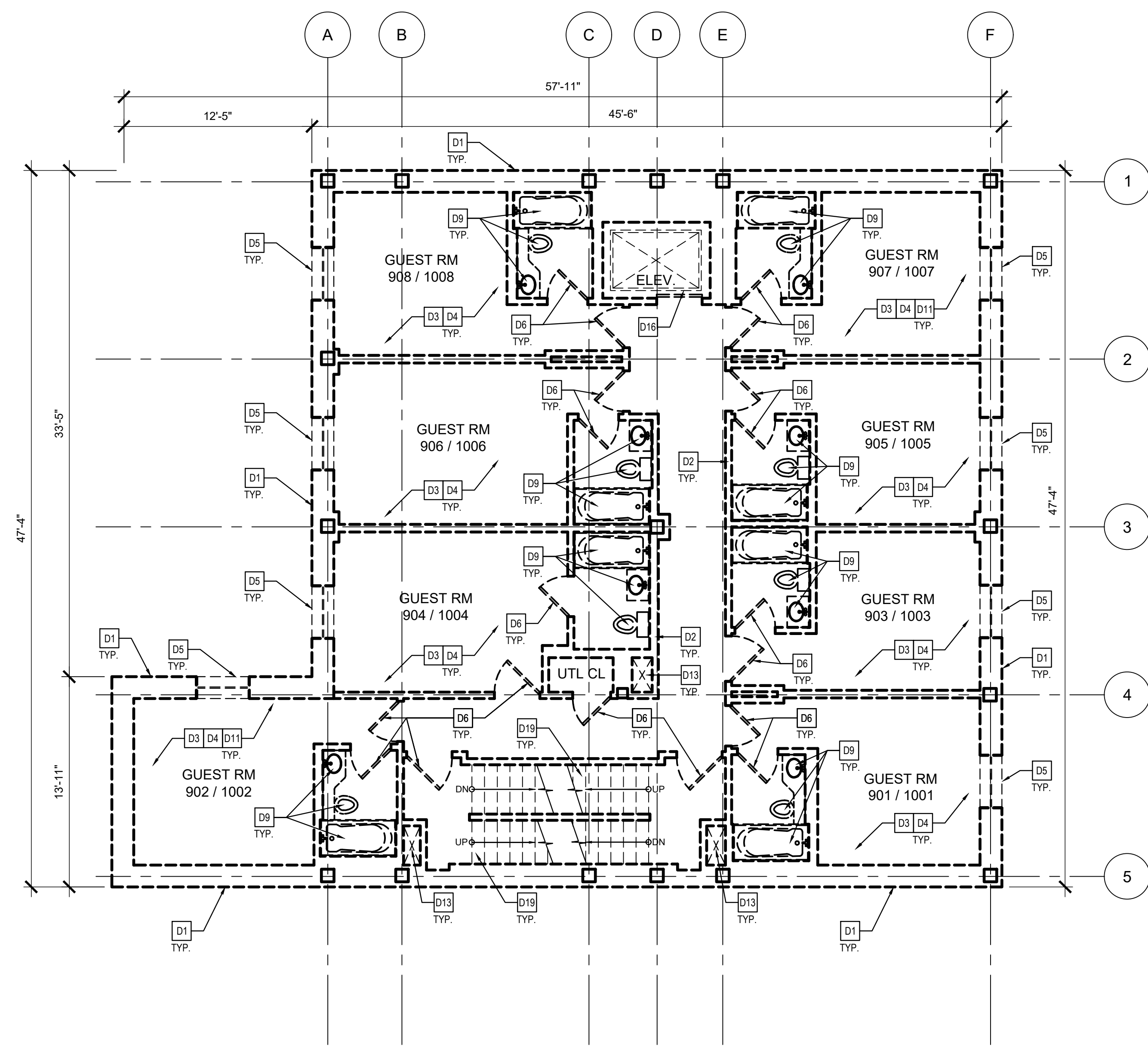
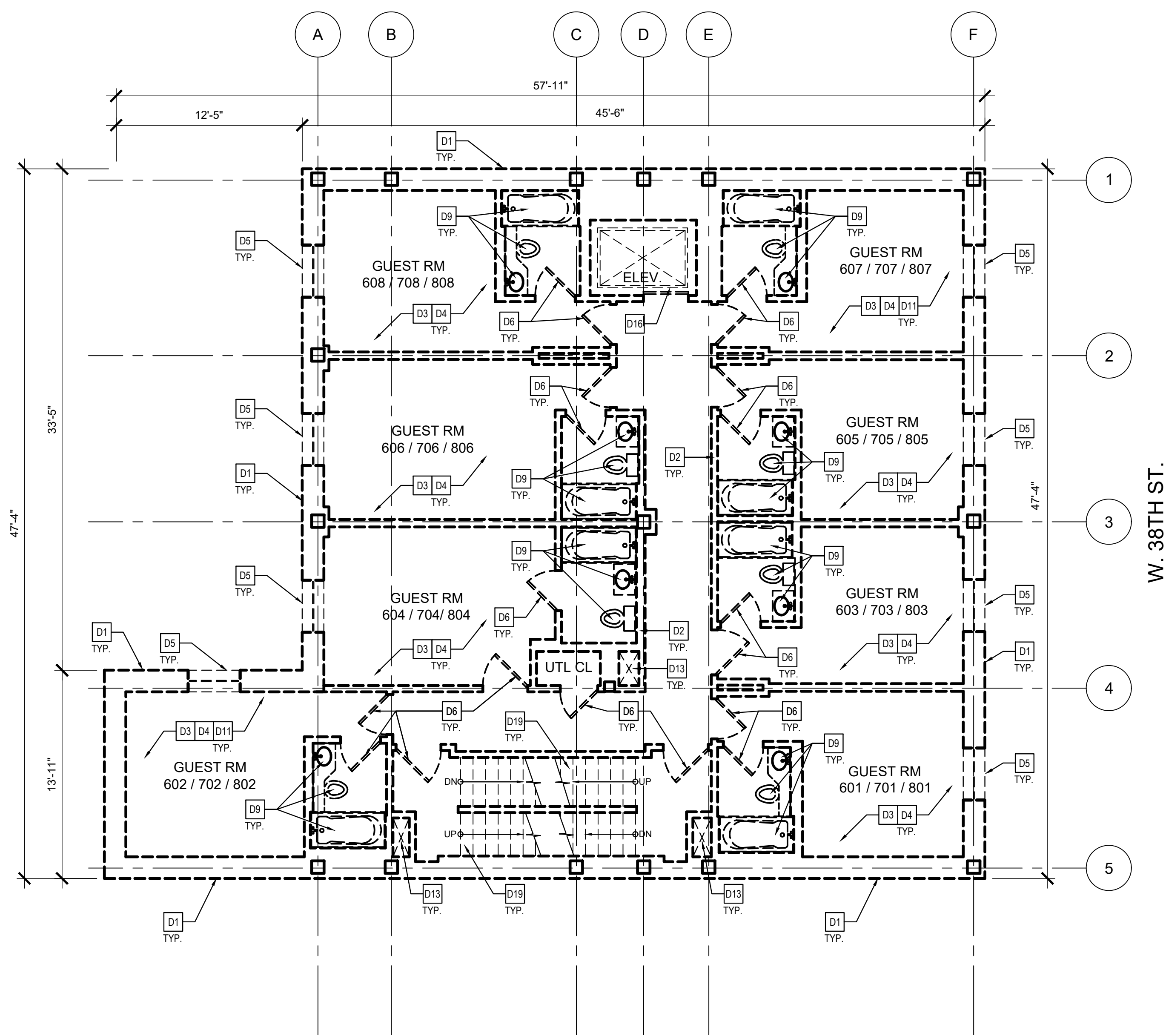
DRAWING NUMBER

DM-102

Seal

DATE 04/03/2020
SCALE 1/8" = 1'-0"
DRAWN BY D.SYROM
CHECKED BY W.LEE

SHEET NO. XX OF 11



1 TYPICAL 6th - 8th FLOOR DEMOLITION PLANS
DM-102 SCALE: 3/16" = 1'-0"

2 TYPICAL 9th - 10th FLOOR DEMOLITION PLANS
DM-102 SCALE: 3/16" = 1'-0"

DEMOLITION KEY NOTES

- | | | |
|--|--|--|
| D1 EXISTING EXTERIOR MASONRY AND CONCRETE FOUNDATION WALLS TO BE REMOVED. U.O.N | D12 EXISTING COMMUNICATION SYSTEM INCLUDING PANELS, DEVICES, OUTLETS, AND ALL ASSOCIATED WIRING AND CONDUITS TO BE REMOVED THROUGHOUT. | D21 REMOVE ROOFTOP METAL GRATE PLATFORMS, CATWALK, STAIRS, RAILINGS, AND ALL ASSOCIATED METAL SUPPORT STRUCTURE. |
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| D3 EXISTING CONCRETE SLAB TO BE REMOVED, TYP. U.O.N | D14 EXISTING FIRE PROTECTION SYSTEM INCLUDING SPRINKLERS, FIRE HOSE, AND ALL ASSOCIATED PIPING, RISER, VALVES, AND PUMPS TO BE REMOVED. | |
| D4 REMOVE ALL INTERIOR FINISHES INCLUDING FLOORING (CARPET, VCT & PORCELAIN TILE), WALL BASE, WALL COVERING, ETC. | D15 REMOVE EXISTING PLASTER CEILING THROUGHOUT. | |
| D5 EXISTING WINDOWS AND WINDOW COVERING TO BE REMOVED THROUGHOUT. | D16 EXISTING ELEVATOR SYSTEM, HOISTWAY STRUCTURE, ALL ASSOCIATED ACCESSORIES INCLUDING CONTROL PANELS AND ELECTRICAL SYSTEM TO BE REMOVED. | |
| D6 EXISTING H.M. DOORS AND FRAMES TO BE REMOVED | D17 EXISTING FIRE ALARM SYSTEM, INCLUDING PANELS, STROBES, HORNS, AND ALL ASSOCIATED CONDUITS AND WIRING TO BE REMOVED. | |
| D7 REMOVE ALL MILLWORK AND BUILT-IN FURNISHINGS THROUGHOUT, INCLUDING BENCHES, COUNTERS, CABINETS AND SHELVING, ETC. | D18 REMOVE EXISTING GENERATOR AND STEEL SUPPORT STRUCTURES. | |
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BELLA ABZUG PARK
BLOCKS 5 & 6

CLIENT GROUP



DESIGNERS



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CONSTRUCTION**

STATUS

REVISIONS

NO.	DATE	DESCRIPTION

DRAWING TITLE

11TH FLOOR & ROOF
LEVEL DEMO. PLANS

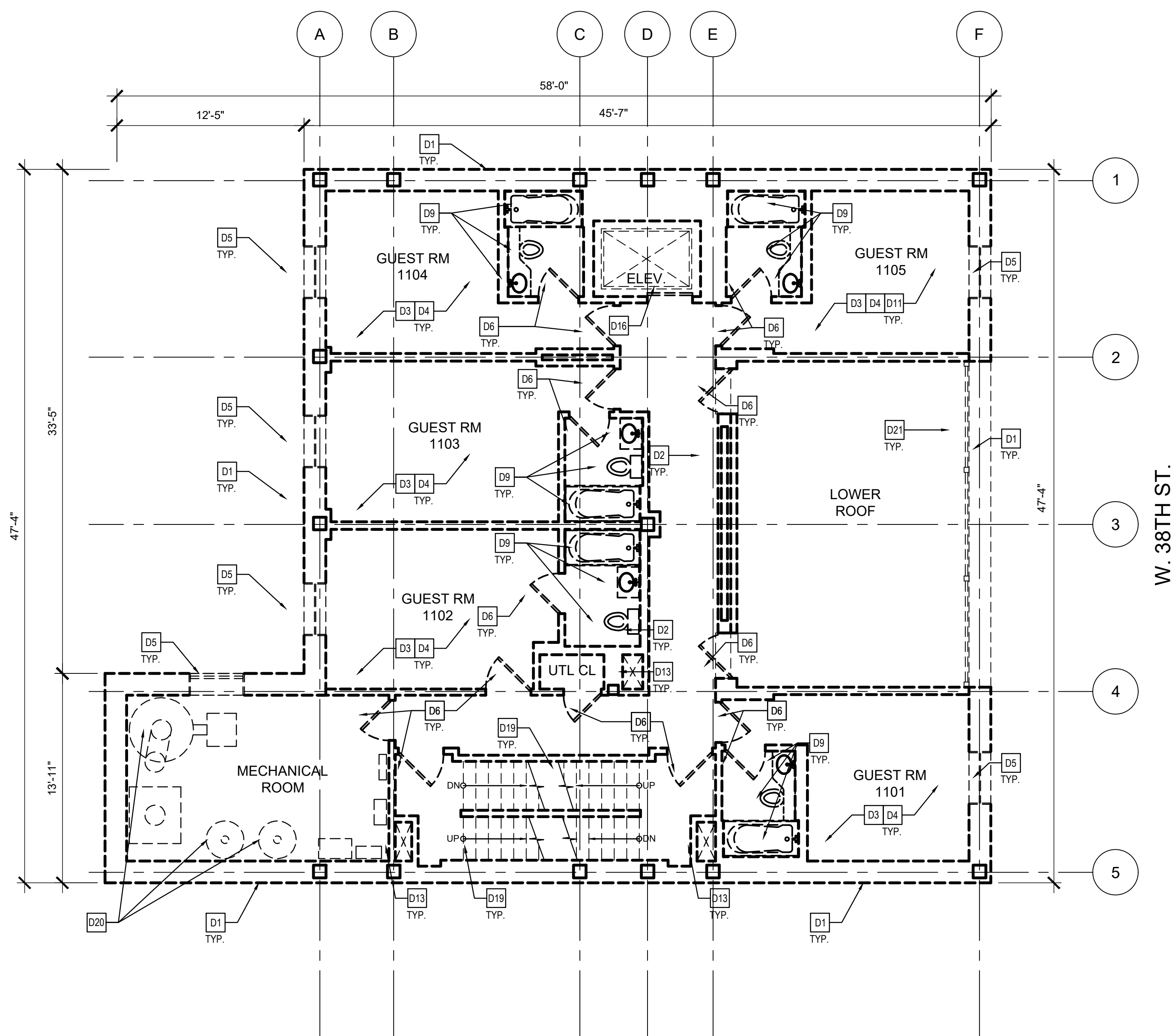
DRAWING NUMBER

DM-103

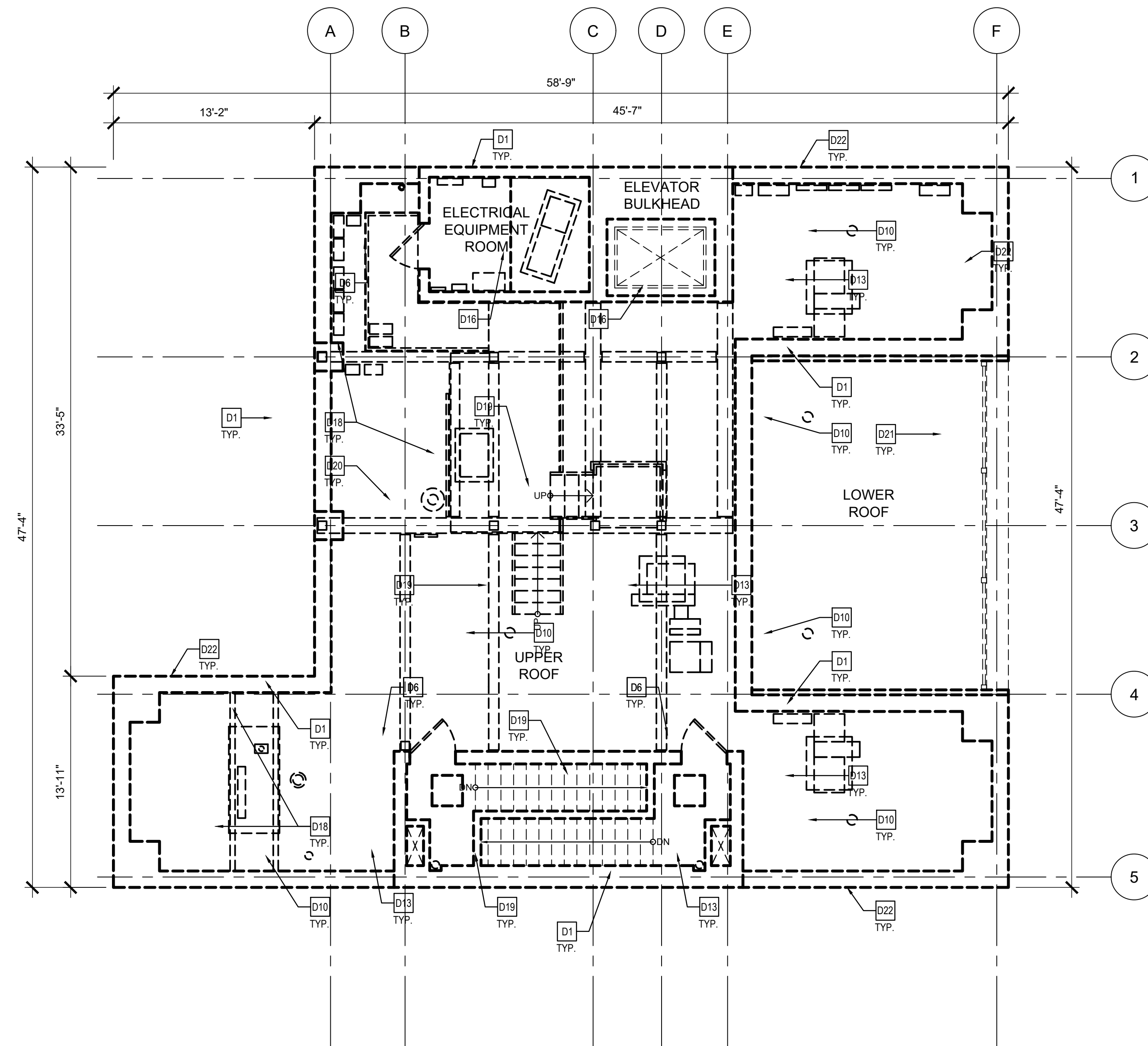
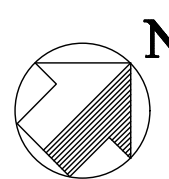
Seal

DATE 04/03/2020
SCALE 1/8" = 1'-0"
DRAWN BY D.SYROM
CHECKED BY W.LEE

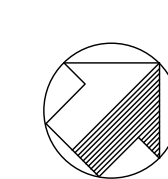
SHEET NO. XX OF 11



1 11th DEMOLITION FLOOR PLAN
AD-104 SCALE: 3/16" = 1'-0"



2 ROOF PLAN
AD-104 SCALE: 3/16" = 1'-0"



DEMOLITION KEY NOTES

- | | | |
|--|--|--|
| D1 EXISTING EXTERIOR MASONRY AND CONCRETE FOUNDATION WALLS TO BE REMOVED. U.O.N | D12 EXISTING COMMUNICATION SYSTEM INCLUDING PANELS, DEVICES, OUTLETS, AND ALL ASSOCIATED WIRING AND CONDUITS TO BE REMOVED THROUGHOUT. | D21 REMOVE ROOFTOP METAL GRATE PLATFORMS, CATWALK, STAIRS, RAILINGS, AND ALL ASSOCIATED METAL SUPPORT STRUCTURE. |
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| D4 REMOVE ALL INTERIOR FINISHES INCLUDING FLOORING (CARPET, VCT & PORCELAIN TILE), WALL BASE, WALL COVERING, ETC. | D15 REMOVE EXISTING PLASTER CEILING THROUGHOUT. | |
| D5 EXISTING WINDOWS AND WINDOW COVERING TO BE REMOVED THROUGHOUT. | D16 EXISTING ELEVATOR SYSTEM, HOISTWAY STRUCTURE, ALL ASSOCIATED ACCESSORIES INCLUDING CONTROL PANELS AND ELECTRICAL SYSTEM TO BE REMOVED. | |
| D6 EXISTING H.M. DOORS AND FRAMES TO BE REMOVED | D17 EXISTING FIRE ALARM SYSTEM, INCLUDING PANELS, STROBES, HORNS, AND ALL ASSOCIATED CONDUITS AND WIRING TO BE REMOVED. | |
| D7 REMOVE ALL MILLWORK AND BUILT-IN FURNISHINGS THROUGHOUT, INCLUDING BENCHES, COUNTERS, CABINETS AND SHELVING, ETC. | D18 REMOVE EXISTING GENERATOR AND STEEL SUPPORT STRUCTURES. | |
| D8 EXISTING WATER HEATERS, BOILER AND ALL ASSOCIATED PLUMBING PIPING, CONTROL PANELS AND WIRING TO BE REMOVED | D19 REMOVE EXISTING STAIRS AND RAILINGS THROUGHOUT, TYP. | |
| D9 REMOVE ALL EXISTING PLUMBING FIXTURES INCLUDING TOILETS, SINKS, BATHTUBS, AND ALL ASSOCIATED PLUMBING PIPING/DRAINAGE LINES. CUT AND CAP PLUMBING LINES AT THE BUILDING'S CONNECTION. | D20 REMOVE EXISTING ELEVATED WATER TANK, ASSOCIATED PIPING, AND STEEL SUPPORT STRUCTURE. | |
| D10 EXISTING ROOFING, WATERPROOFING, FLASHING, ROOF SLAB, ROOF DRAINS AND ASSOCIATED PIPING TO BE REMOVED | | |
| D11 REMOVE ALL EXISTING ELECTRICAL EQUIPMENT AND FIXTURES INCLUDING LIGHT FIXTURES, SWITCHES, OUTLETS, AND ALL ASSOCIATED CONDUITS AND WIRING. | | |

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CLIENT GROUP



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STATUS

REVISIONS

NO.	DATE	DESCRIPTION

DRAWING TITLE

**ELECTRICAL PLATFORMS &
WATER TOWER DEMO. PLANS**

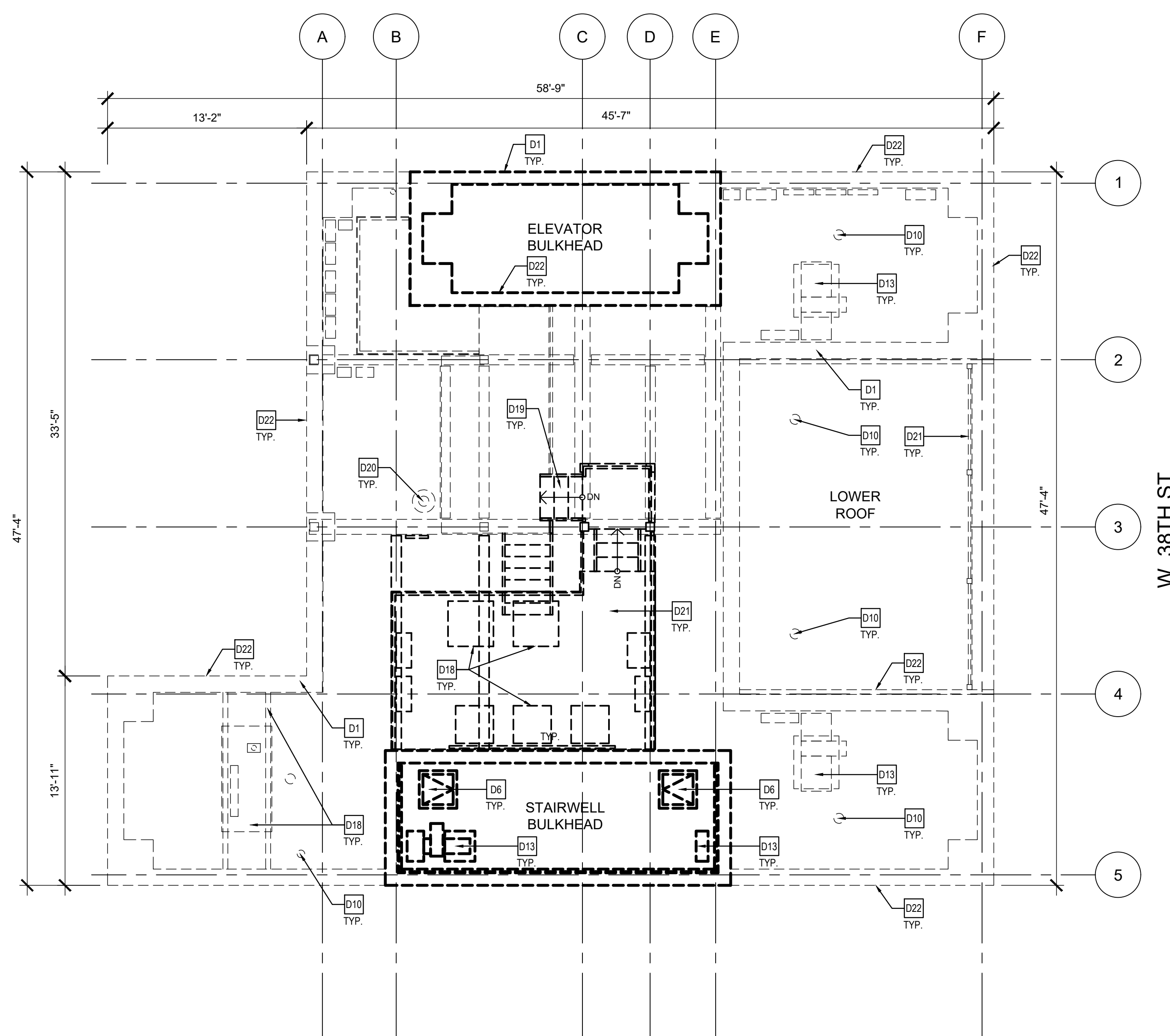
DRAWING NUMBER

DM-104

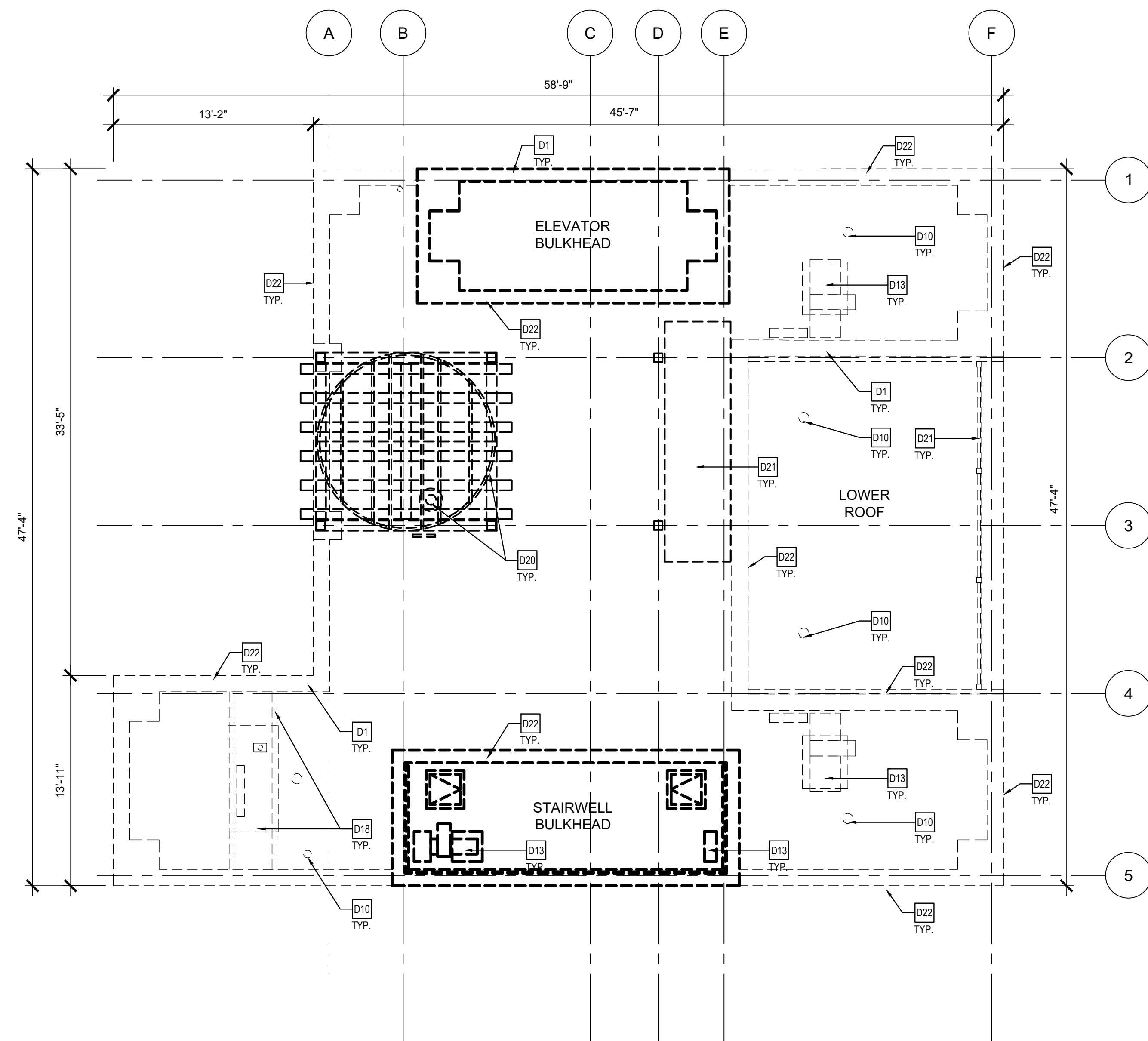
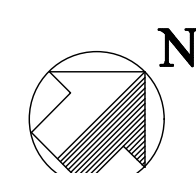
Seal

DATE 04/03/2020
SCALE 1/8" = 1'-0"
DRAWN BY D.SYROM
CHECKED BY W.LEE

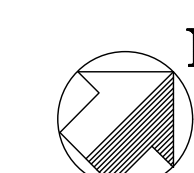
SHEET NO. XX OF 11



1 ELECTRICAL PLATFORM DEMOLITION PLAN
DM-104 SCALE: 3/16" = 1'-0"



2 WATER TOWER PLATFORM DEMOLITION PLAN
DM-104 SCALE: 3/16" = 1'-0"



DEMOLITION KEY NOTES

- | | | |
|--|--|--|
| D1 EXISTING EXTERIOR MASONRY AND CONCRETE FOUNDATION WALLS TO BE REMOVED. U.O.N | D12 EXISTING COMMUNICATION SYSTEM INCLUDING PANELS, DEVICES, OUTLETS, AND ALL ASSOCIATED WIRING AND CONDUITS TO BE REMOVED THROUGHOUT. | D21 REMOVE ROOFTOP METAL GRATE PLATFORMS, CATWALK, STAIRS, RAILINGS, AND ALL ASSOCIATED METAL SUPPORT STRUCTURE. |
| D2 EXISTING INTERIOR METAL FRAMED PARTITIONS TO BE REMOVED. | D13 REMOVE EXISTING HVAC SYSTEM INCLUDING AIR DIFFUSERS, THERMOSTATS, AND ALL ASSOCIATED DUCTWORK, CONDUITS AND WIRING THROUGHOUT. | D22 EXISTING MASONRY PARAPET, FLASHING AND WATERPROOFING TO BE REMOVED. |
| D3 EXISTING CONCRETE SLAB TO BE REMOVED, TYP. U.O.N | D14 EXISTING FIRE PROTECTION SYSTEM INCLUDING SPRINKLERS, FIRE HOSE, AND ALL ASSOCIATED PIPING, RISER, VALVES, AND PUMPS TO BE REMOVED. | |
| D4 REMOVE ALL INTERIOR FINISHES INCLUDING FLOORING (CARPET, VCT & PORCELAIN TILE), WALL BASE, WALL COVERING, ETC. | D15 REMOVE EXISTING PLASTER CEILING THROUGHOUT. | |
| D5 EXISTING WINDOWS AND WINDOW COVERING TO BE REMOVED THROUGHOUT. | D16 EXISTING ELEVATOR SYSTEM, HOISTWAY STRUCTURE, ALL ASSOCIATED ACCESSORIES INCLUDING CONTROL PANELS AND ELECTRICAL SYSTEM TO BE REMOVED. | |
| D6 EXISTING H.M. DOORS AND FRAMES TO BE REMOVED | D17 EXISTING FIRE ALARM SYSTEM, INCLUDING PANELS, STROBES, HORNS, AND ALL ASSOCIATED CONDUITS AND WIRING TO BE REMOVED. | |
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| D8 EXISTING WATER HEATERS, BOILER AND ALL ASSOCIATED PLUMBING PIPING, CONTROL PANELS AND WIRING TO BE REMOVED | D19 REMOVE EXISTING STAIRS AND RAILINGS THROUGHOUT, TYP. | |
| D9 REMOVE ALL EXISTING PLUMBING FIXTURES INCLUDING TOILETS, SINKS, BATHTUBS, AND ALL ASSOCIATED PLUMBING PIPING/DRAINAGE LINES. CUT AND CAP PLUMBING LINES AT THE BUILDING'S CONNECTION. | D20 REMOVE EXISTING ELEVATED WATER TANK, ASSOCIATED PIPING, AND STEEL SUPPORT STRUCTURE. | |
| D10 EXISTING ROOFING, WATERPROOFING, FLASHING, ROOF SLAB, ROOF DRAINS AND ASSOCIATED PIPING TO BE REMOVED | | |
| D11 REMOVE ALL EXISTING ELECTRICAL EQUIPMENT AND FIXTURES INCLUDING LIGHT FIXTURES, SWITCHES, OUTLETS, AND ALL ASSOCIATED CONDUITS AND WIRING. | | |

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STATUS

REVISIONS

NO.	DATE	DESCRIPTION

DRAWING TITLE

**NORTH & SOUTH DEMOLITION
EXTERIOR ELEVATIONS**

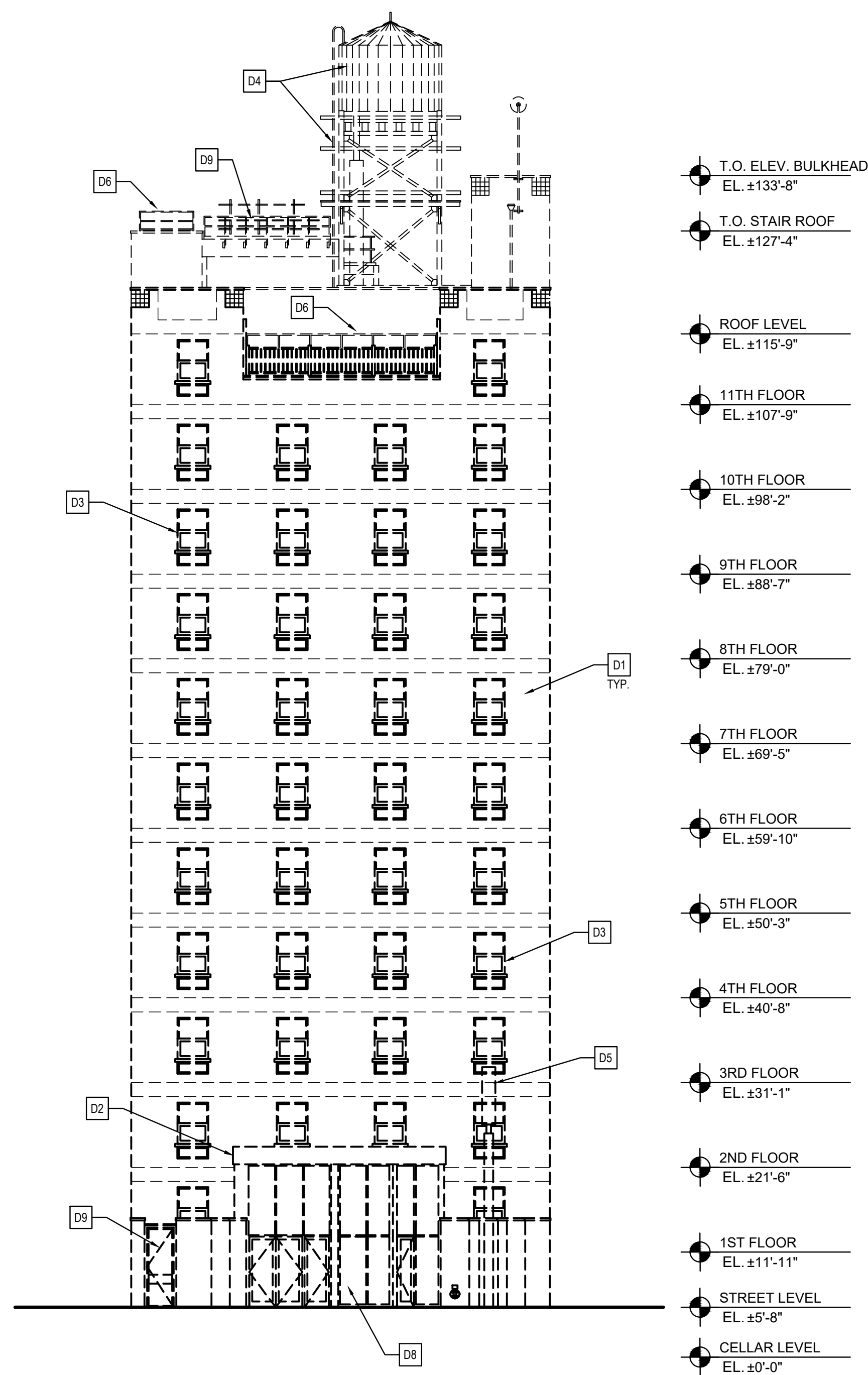
DRAWING NUMBER

DM-201

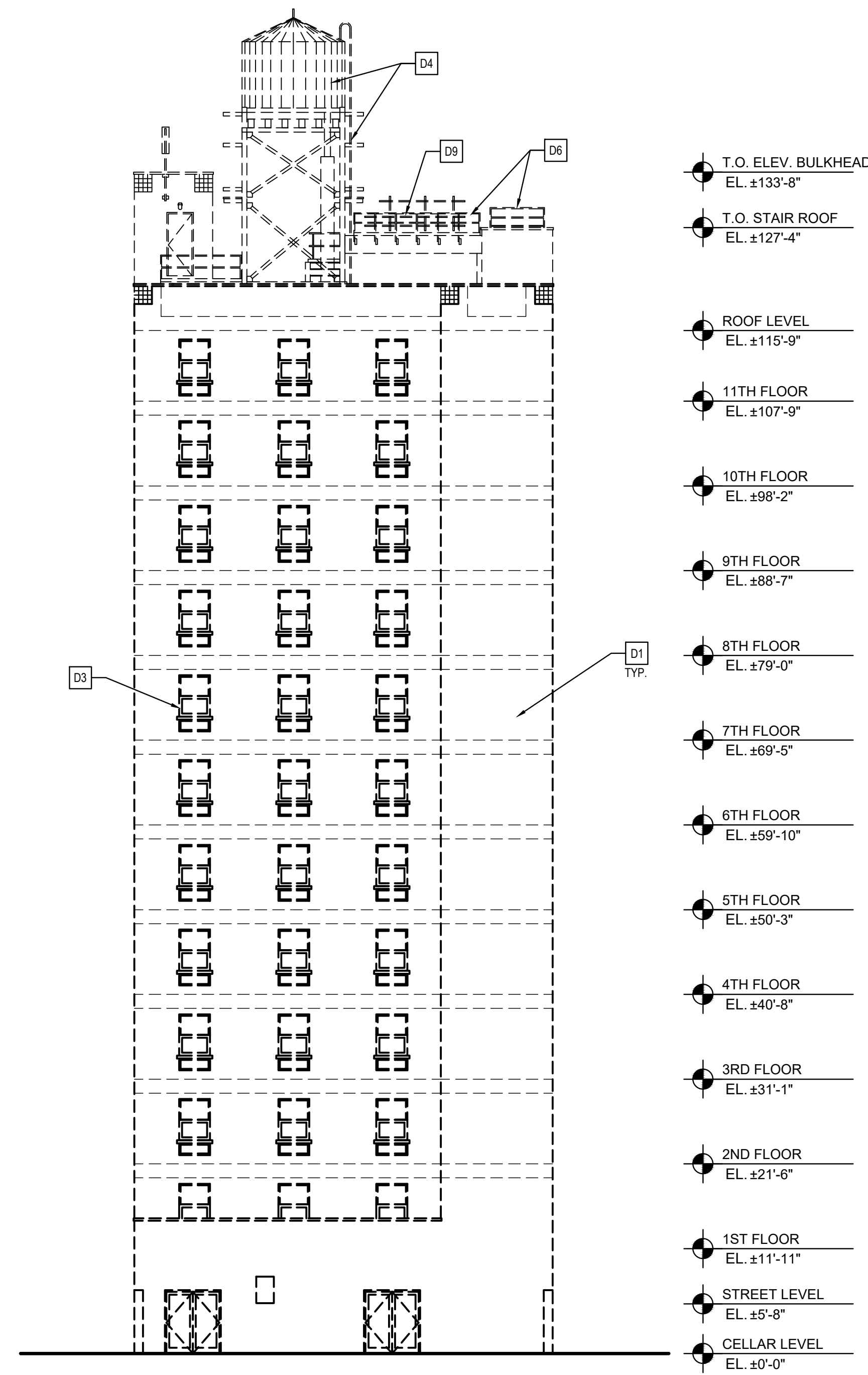
Seal

DATE 04/03/2020
SCALE 3/32" = 1'-0"
DRAWN BY D.SYROM
CHECKED BY W.LEE

SHEET NO. XX OF 11



1 SOUTH ELEVATION
DM-201 SCALE: 3/32" = 1'-0"



2 NORTH ELEVATION
DM-201 SCALE: 3/32" = 1'-0"

DEMOLITION KEY NOTES

D1	EXISTING EXTERIOR MASONRY AND CONCRETE FOUNDATION WALLS TO BE REMOVED. U.O.N
D2	EXISTING EXTERIOR METAL ENTRY CANOPY TO BE REMOVED.
D3	REMOVE ALL WINDOWS INCLUDING FRAMES AND GLAZING THROUGHOUT.
D4	REMOVE EXISTING WATER TOWER AND ALL ASSOCIATED SUPPORT STRUCTURE.
D5	REMOVE EXISTING ELECTRONIC SIGNAGE AND STRUCTURE.
D6	EXISTING METAL RAILINGS TO BE REMOVED, TYP.
D7	EXISTING CELLULAR/COMMUNICATION ANTENNAS TO BE REMOVED BY OTHERS PRIOR TO DEMOLITION. COORDINATE SCHEDULING OF REMOVAL WITH OWNER.
D8	REMOVE EXISTING SYSTEM IN ITS ENTIRETY.
D9	REMOVE EXISTING ROOFTOP METAL GRATING PLATFORM, STAIRS, AND ALL SUPPORTING STRUCTURE THROUGHOUT.

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STATUS

REVISIONS

NO.	DATE	DESCRIPTION

DRAWING TITLE

**EAST & WEST DEMOLITION
EXTERIOR ELEVATIONS**

DRAWING NUMBER

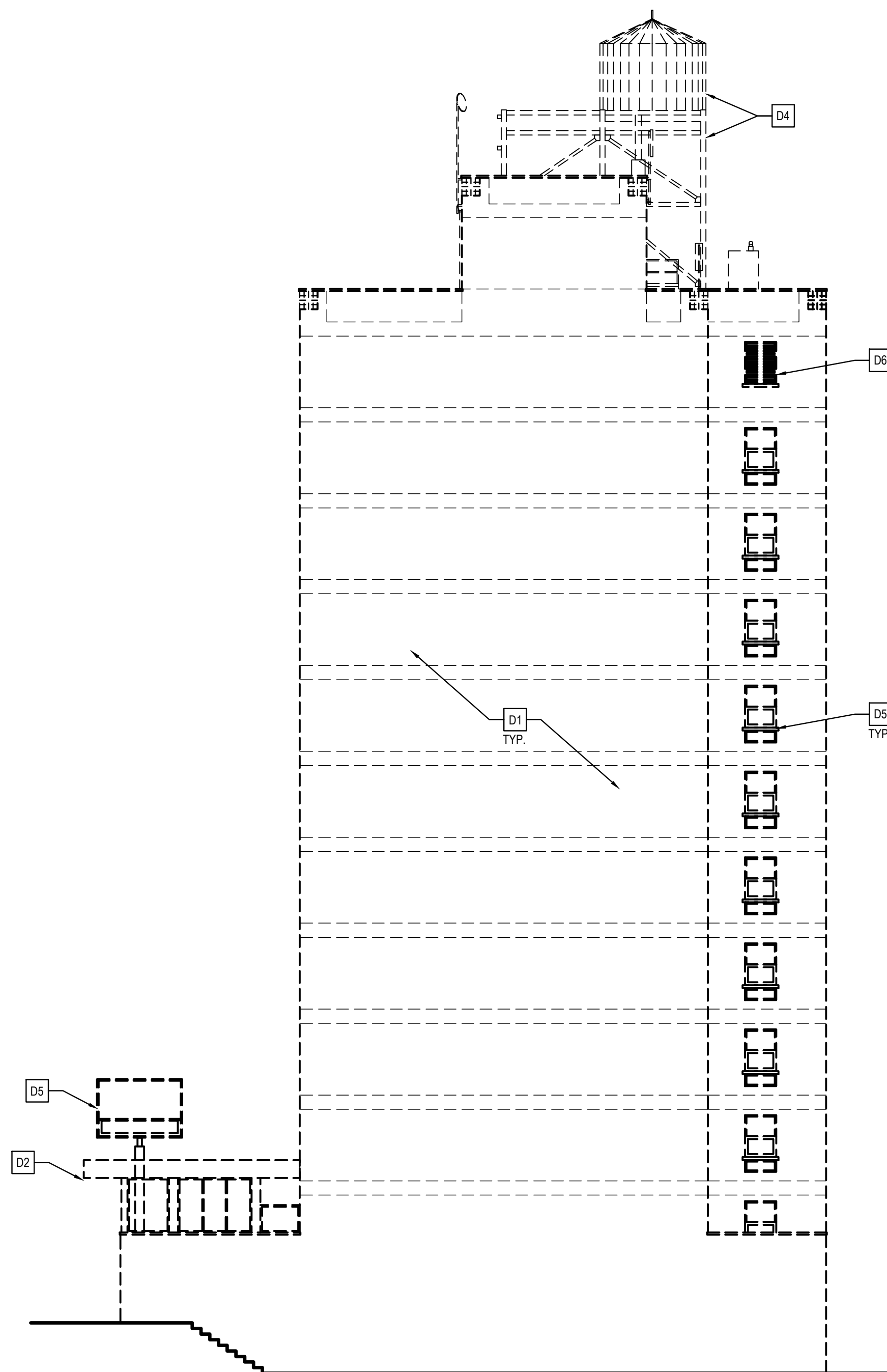
DM-202

Seal

DATE 04/03/2020
SCALE 3/32" = 1'-0"
DRAWN BY D.SYROM
CHECKED BY W.LEE

SHEET NO. XX OF 11

24" x 36"

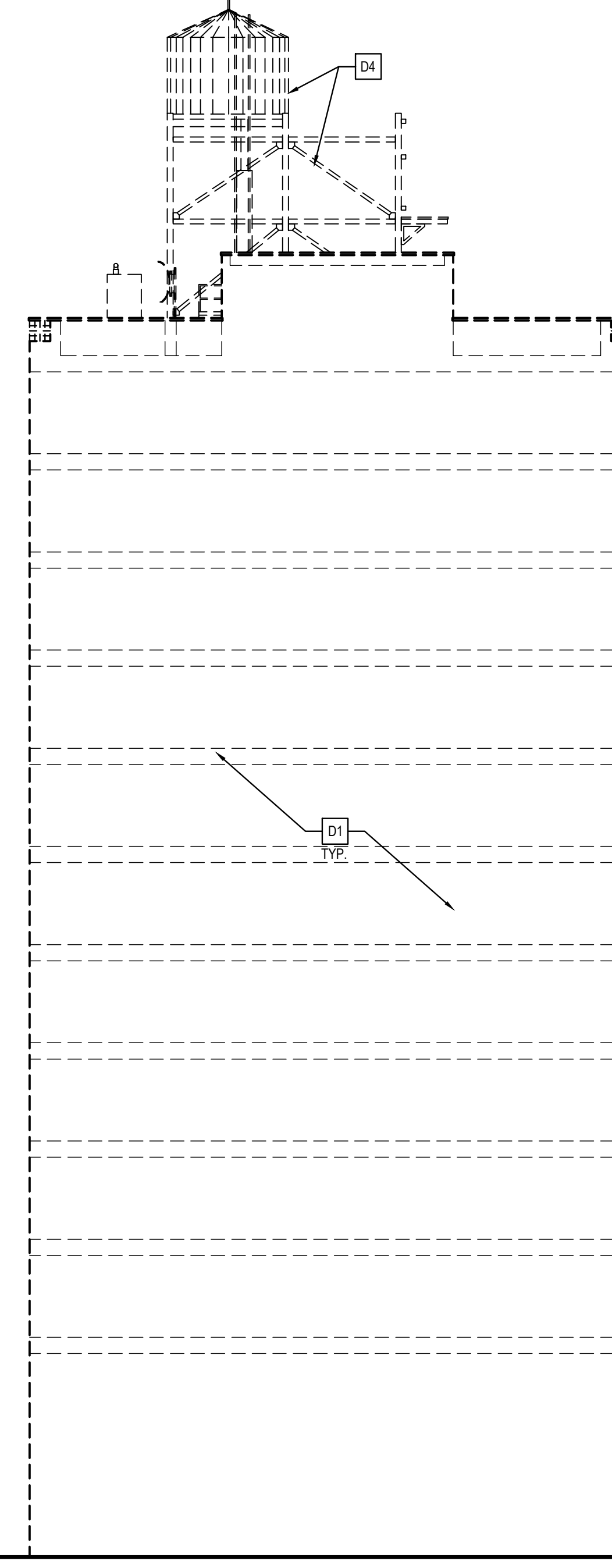


- T.O. ELEV. BULKHEAD
EL. ±133'-8"
- T.O. STAIR ROOF
EL. ±127'-4"
- ROOF LEVEL
EL. ±115'-9"
- 11TH FLOOR
EL. ±107'-9"
- 10TH FLOOR
EL. ±98'-2"
- 9TH FLOOR
EL. ±88'-7"
- 8TH FLOOR
EL. ±79'-0"
- 7TH FLOOR
EL. ±69'-5"
- 6TH FLOOR
EL. ±59'-10"
- 5TH FLOOR
EL. ±50'-3"
- 4TH FLOOR
EL. ±40'-8"
- 3RD FLOOR
EL. ±31'-1"
- 2ND FLOOR
EL. ±21'-6"
- 1ST FLOOR
EL. ±11'-11"
- STREET LEVEL
EL. ±5'-8"
- CELLAR LEVEL
EL. ±0'-0"

1 EAST ELEVATION
AD-201 SCALE: 3/32" = 1'-0"

DEMOLITION KEY NOTES

- D1 EXISTING EXTERIOR MASONRY AND CONCRETE FOUNDATION WALLS TO BE REMOVED. U.O.N
- D2 EXISTING EXTERIOR METAL ENTRY CANOPY TO BE REMOVED.
- D3 REMOVE ALL WINDOWS INCLUDING FRAMES AND GLAZING THROUGHOUT.
- D4 REMOVE EXISTING WATER TOWER AND ALL ASSOCIATED SUPPORT STRUCTURE.
- D5 REMOVE EXISTING ELECTRONIC SIGNAGE AND STRUCTURE.
- D6 EXISTING METAL RAILINGS TO BE REMOVED, TYP.
- D7 EXISTING CELLULAR/COMMUNICATION ANTENNAS TO BE REMOVED BY OTHERS PRIOR TO DEMOLITION. COORDINATE SCHEDULING OF REMOVAL WITH OWNER.
- D8 REMOVE EXISTING SYSTEM IN ITS ENTIRETY.
- D9 REMOVE EXISTING ROOFTOP METAL GRATING PLATFORM, STAIRS, AND ALL SUPPORTING STRUCTURE THROUGHOUT.



- T.O. ELEV. BULKHEAD
EL. ±133'-8"
- T.O. STAIR ROOF
EL. ±127'-4"
- ROOF LEVEL
EL. ±115'-9"
- 11TH FLOOR
EL. ±107'-9"
- 10TH FLOOR
EL. ±98'-2"
- 9TH FLOOR
EL. ±88'-7"
- 8TH FLOOR
EL. ±79'-0"
- 7TH FLOOR
EL. ±69'-5"
- 6TH FLOOR
EL. ±59'-10"
- 5TH FLOOR
EL. ±50'-3"
- 4TH FLOOR
EL. ±40'-8"
- 3RD FLOOR
EL. ±31'-1"
- 2ND FLOOR
EL. ±21'-6"
- 1ST FLOOR
EL. ±11'-11"
- STREET LEVEL
EL. ±5'-8"
- CELLAR LEVEL
EL. ±0'-0"

2 WEST ELEVATION
AD-201 SCALE: 3/32" = 1'-0"

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DRAWING TITLE

**STRUCTURAL DEMOLITION
SECTIONS**

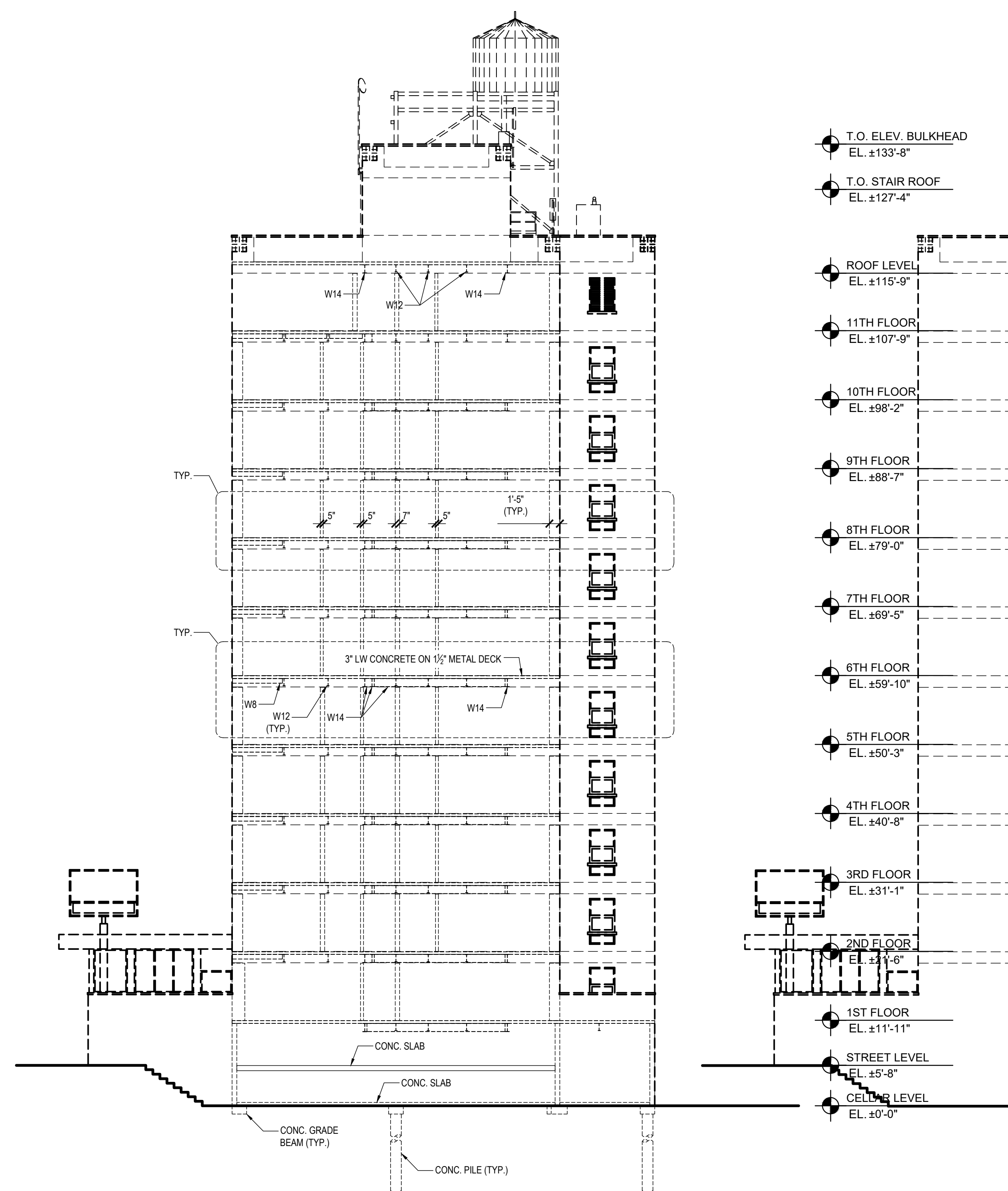
DRAWING NUMBER

DM-301

Seal

DATE 04/03/2020
SCALE 3/32" = 1'-0"
DRAWN BY B. LING
CHECKED BY F. PORTUGUEZ

SHEET NO. 10 OF 11



1 LONGITUDINAL SECTION
DM-301 SCALE: 3/32" = 1'-0"

DEMOLITION KEY NOTES

- D1 EXISTING EXTERIOR MASONRY AND CONCRETE FOUNDATION WALLS TO BE REMOVED. U.O.N
- D2 EXISTING EXTERIOR METAL ENTRY CANOPY TO BE REMOVED.
- D3 REMOVE ALL WINDOWS INCLUDING FRAMES AND GLAZING THROUGHOUT.
- D4 REMOVE EXISTING WATER TOWER AND ALL ASSOCIATED SUPPORT STRUCTURE.
- D5 REMOVE EXISTING ELECTRONIC SIGNAGE AND STRUCTURE.
- D6 EXISTING METAL RAILINGS TO BE REMOVED, TYP.
- D7 EXISTING CELLULAR/COMMUNICATION ANTENNAS TO BE REMOVED BY OTHERS PRIOR TO DEMOLITION. COORDINATE SCHEDULING OF REMOVAL WITH OWNER.
- D8 REMOVE EXISTING SYSTEM IN ITS ENTIRETY.
- D9 REMOVE EXISTING ROOFTOP METAL GRATING PLATFORM, STAIRS, AND ALL SUPPORTING STRUCTURE THROUGHOUT.

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DRAWING TITLE

**STRUCTURAL DEMOLITION
SECTIONS**

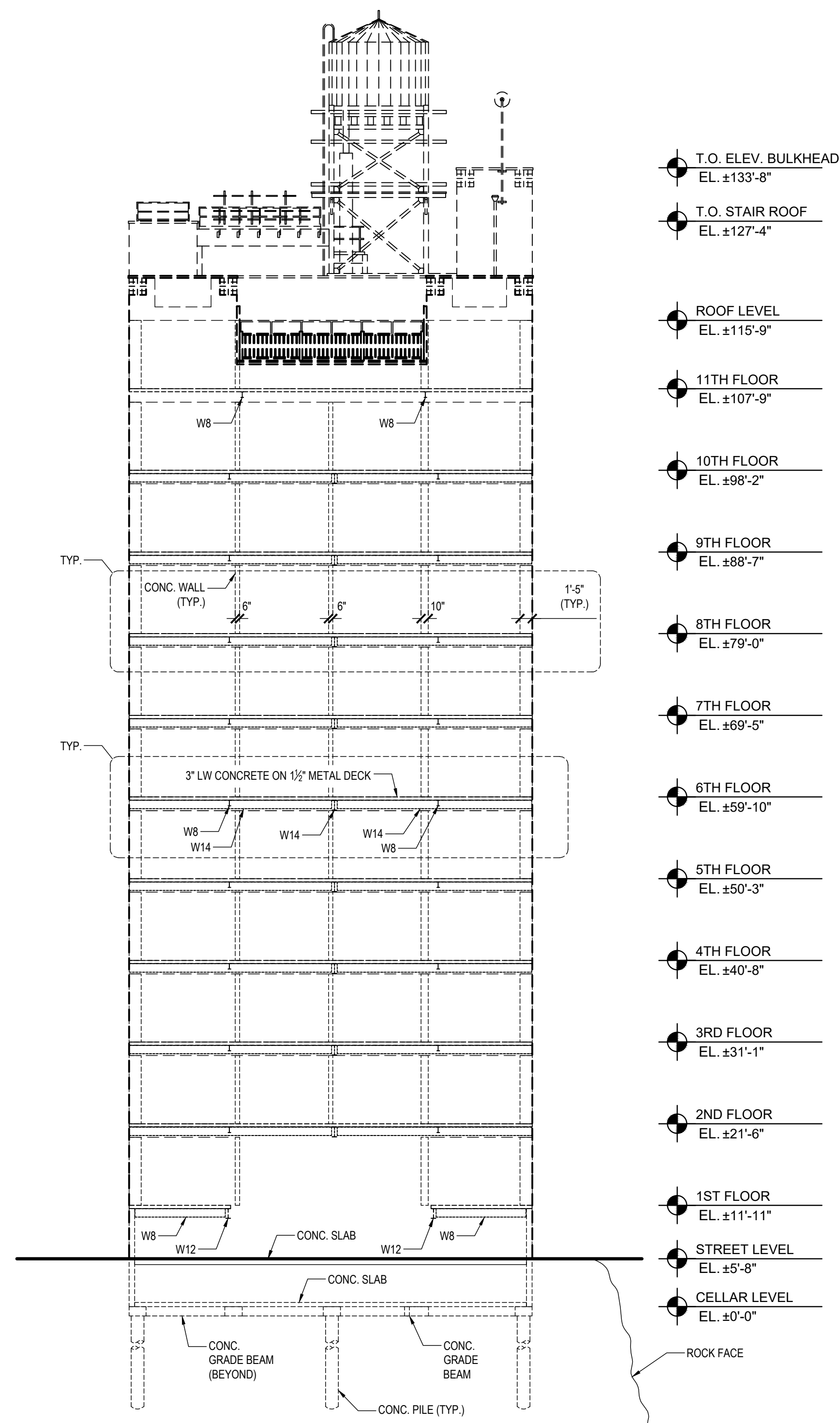
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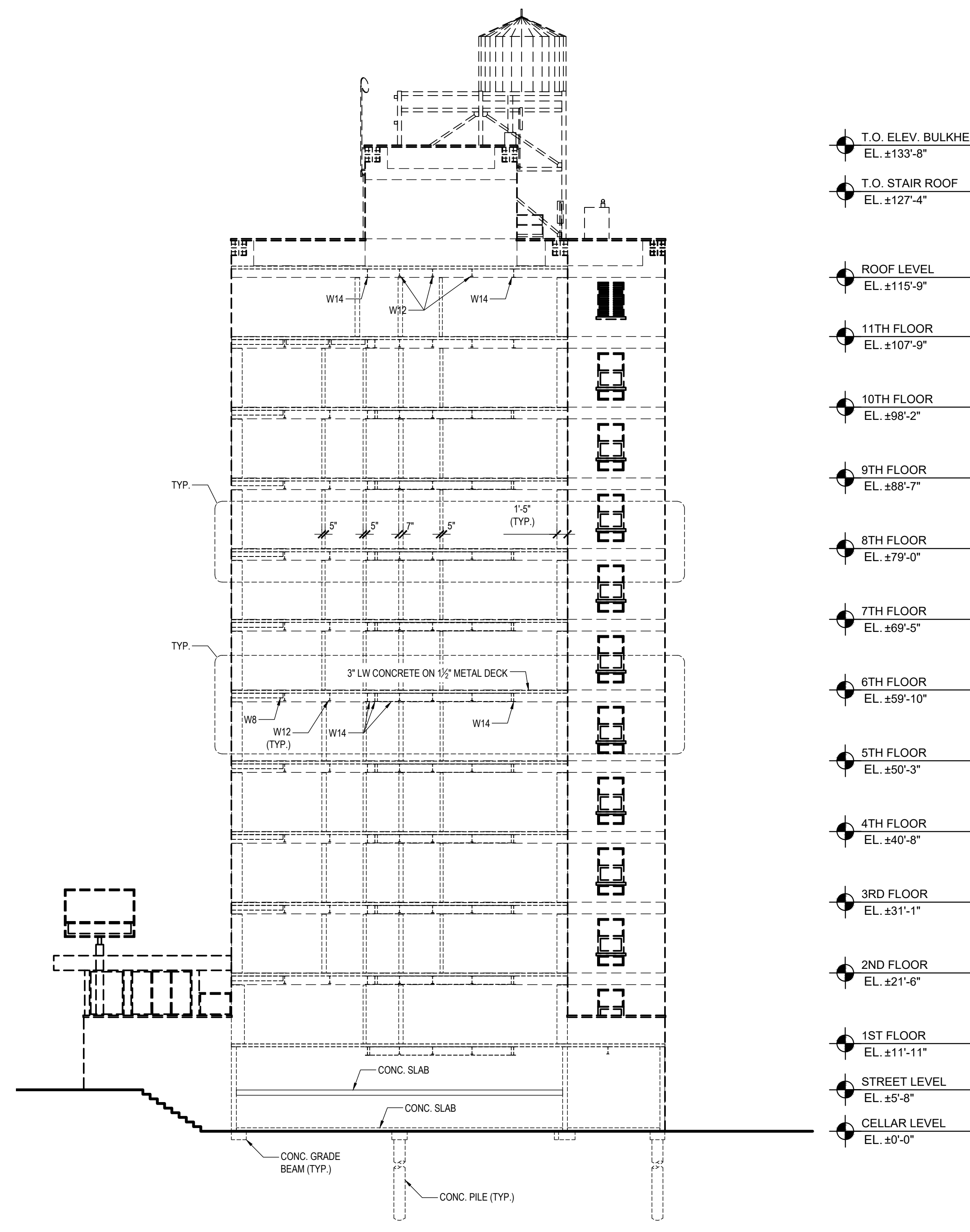
Seal

DATE 04/03/2020
SCALE 3/32" = 1'-0"
DRAWN BY B. LING
CHECKED BY F. PORTUGEZ

SHEET NO. XX OF 11



1 CROSS SECTION
DM-302 SCALE: 3/32" = 1'-0"



2 CROSS SECTION
DM-302 SCALE: 3/32" = 1'-0"

DEMOLITION KEY NOTES

- D1 EXISTING EXTERIOR MASONRY AND CONCRETE FOUNDATION WALLS TO BE REMOVED. U.O.N
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