

CLIENT

ADRIAN TING

317 W 93RD ST.
 3RD FLOOR, APT.3A
 NEW YORK, NY 10025
 Contact: ADRIAN TING
 Tel: —

STRUCTURAL ENGINEER:

Tel: —

CODE/ZONING CONSULTANT:

Tel: —

ARCHITECT OF RECORD

**Anzalone
 Architecture PLLC**

332 Douglass Street, Suite #2F
 Brooklyn, NY 11217
 Tel: 347-220-1173
 Fax: 347-214-0124
 E-mail: james@jamesanzalone.com
 www.jamesanzalone.com

James Ian Anzalone, AIA
 NYS RA Lic # 026010

SEAL

Rev	Date	Description

Revisions

ACAD File Name:

G-001.00 Accessibility Diagrams.dwg

PROJECT TITLE:

APARTMENT RENOVATION

317 W 93RD ST.
 3RD FLOOR, APT.3A
 NEW YORK, NY 10025

Proj #: JA2009TING1

Drawn By: DS

Checked By:

Date: 3/1/2010

Issed For:

DRAWING TITLE:

ACCESSIBILITY DIAGRAMS

Drawing Number:

G-001.00

CLIENT

ADRIAN TING

317 W 93RD ST.
3RD FLOOR, APT.3A
NEW YORK, NY 10025
Contact: ADRIAN TING
Tel: —

STRUCTURAL ENGINEER:

CODE/ZONING CONSULTANT:

ARCHITECT OF RECORD

**Anzalone
Architecture PLLC**

332 Douglass Street, Suite #2F
Brooklyn, NY 11217
Tel: 347-220-1173
Fax: 347-214-0124
E-mail: james@jamesanzalone.com
www.jamesanzalone.com

James Ian Anzalone, AIA
NYS RA Lic # 026010

SEAL

Rev	Date	Description

Revisions

ACAD File Name:
A-001.00 3rd Fl Existing Plan.dwg

PROJECT TITLE:

APARTMENT RENOVATION

317 W 93RD ST.

3RD FLOOR, APT.3A

NEW YORK, NY 10025

Proj #: JA2009TING1

Drawn By: DS

Checked By:

Date: 1/23/2010

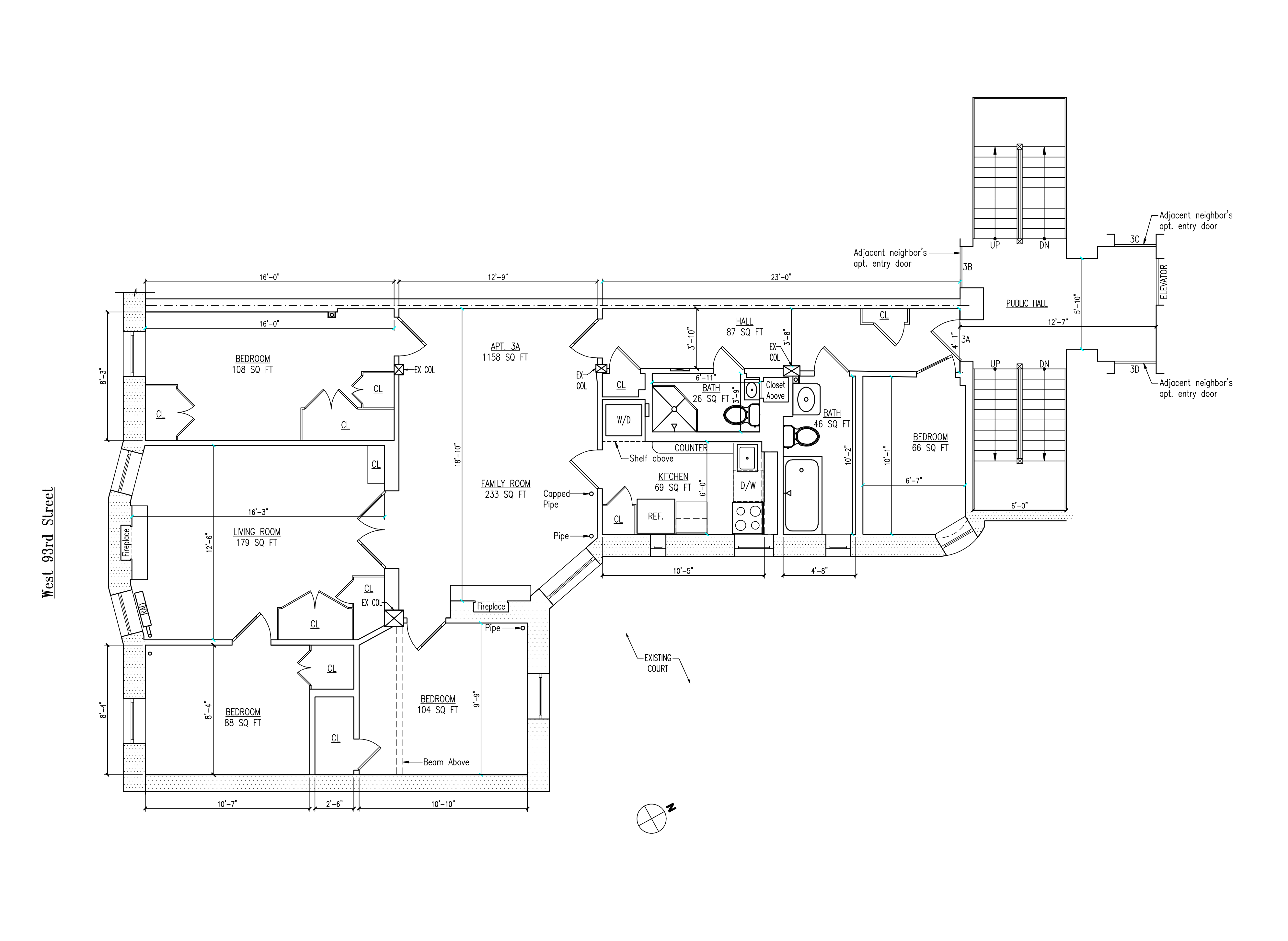
Issed For:

DRAWING TITLE:

3RD FL EXISTING PLAN

Drawing Number:

A-001.00



1 3rd Fl Existing Plan
SCALE: 1/4" = 1'-0"

LEGAL NOTES:
1 THESE CONSTRUCTION DOCUMENTS—PLANS, SPECIFICATIONS, ADDENDA, CLARIFICATIONS AND THE LIKE, MAY ONLY BE USED WITH THE WRITTEN AUTHORIZATION OF THE ARCHITECT OF RECORD.
2 UNAUTHORIZED USE AND/OR ALTERATION, BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON OR IN THESE CONSTRUCTION DOCUMENTS—PLANS, SPECIFICATION ADDENDA, CLARIFICATIONS AND THE LIKE UNLESS ACTING UNDER THE SPECIFIC WRITTEN DIRECTION OF THE LICENSED PERSON(S) WHOSE PROFESSIONAL SEAL(S) ARE AFFIXED HERETO, IS PROHIBITED HEREWITS AND A VIOLATION OF TITLE VIII SECTION 69.5 (b) OF NEW YORK STATE LAW.
3 ALL IDEAS, DESIGNS, ARRANGEMENTS, PLANS AND SPECIFICATIONS, ADDENDA, CLARIFICATION, AND THE LIKE, INDICATED AND/OR REPRESENTED BY THESE CONSTRUCTION DOCUMENTS, ARE OWNED EXCLUSIVELY BY THE ARCHITECT OF RECORD.
4 THESE WERE CREATED, AND DEVELOPED FOR THE EXCLUSIVE AND SPECIFIC USE ON, AND IN CONNECTION WITH, THIS PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, PLANS AND SPECIFICATION, ADDENDA, AND THE LIKE, AND SIMILAR RELATED DOCUMENTS, SHALL BE USED AND/OR REPRODUCED FOR ANY OTHER PURPOSE WHATSOEVER, WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE ARCHITECT OF RECORD.

Department of Buildings Approvals:

Demolition Notes

1. Scope of Application is for Interior, Non-Structural Alterations to existing Apartment 3A.
2. No Change to Use, Egress, or Occupancy under this application.
3. Refer to additional Demolition Notes on Sheet T-001.
4. Protect existing Structural Beams Columns and Chases during construction. Do Not remove any existing fireproofing material. Any fireproofing disturbed during the demolition phase is to be restored to its existing condition and fire rating. Certification of this will be required upon completion of the work.
5. Protect existing Plumbing, Heating, Electrical, Telecom Risers during construction.
6. Coordinate any required shutoffs with Building Management as required by Bldg Regulations.
7. The Dumbwaiter has been removed during a previous renovation. Corrective measures may be required during the course of the Project to ensure proper fire separation between the apartments above and below 3A. This work is subject to a site inspection by our office and the Building Architect. GC to contact our office and the Building Architect for such site visit after demolition has uncovered the area of the former dumbwaiter.
8. The General Contractor must coordinate the removal of all debris as to limit the impact the alteration has on the Buildings common areas and single elevator.
9. The General Contractor must coordinate the removal of all debris from the apartment as to reduce the impact that the alteration will have on the Buildings public spaces and systems.
10. All plumbing fixtures, appliances, hardware, doors, casings, and etc. that are required for salvage must be removed from the site prior to start up of demo. Appliances with Freon, such as refrigerators and air conditioners, must be removed by the G.C.
11. Remove all existing Wood and Tile Finish Flooring throughout Apartment in preparation for new Finish Flooring Installation. Prepare and level existing Concrete Slab for new Flooring Installation as required.

Legend:

- Existing Brick/Masonry wall to remain.
- Existing demising wall/partition to remain. Maintain Fire Rating.
- Existing wall/partition to remain.
- Existing wall/partition/door to be removed (Shown Dashed Typical).

Plumbing Fixture Legend:

- Note: Fixtures are existing to remain unless otherwise noted on plan:
- Existing fixture to be removed. Cap lines as required.
 - Existing fixture to be replaced or relocated on new Branch Piping back to Existing Risers.
 - Existing fixture to be replaced or relocated on new Branch Piping back to Existing Risers.
 - New fixture. New Branch Piping back to Existing Risers.

CLIENT

ADRIAN TING
 317 W 93RD ST.
 3RD FLOOR, APT.3A
 NEW YORK, NY 10025
 Contact: ADRIAN TING
 Tel: —

STRUCTURAL ENGINEER:

CODE/ZONING CONSULTANT:

ARCHITECT OF RECORD

Anzalone Architecture PLLC
 332 Douglass Street, Suite #2F
 Brooklyn, NY 11217
 Tel: 347-220-1173
 Fax: 347-214-0124
 E-mail: james@jamesanzalone.com
 www.jamesanzalone.com
 James Ian Anzalone, AIA
 NYS RA Lic # 026010

SEAL

Rev	Date	Description
4.20.10		Bldg Architect Comments

Revisions

ACAD File Name:
 A-002.00 3rd FI Demolition Plan.dwg

PROJECT TITLE:

APARTMENT RENOVATION

317 W 93RD ST.
 3RD FLOOR, APT.3A
 NEW YORK, NY 10025

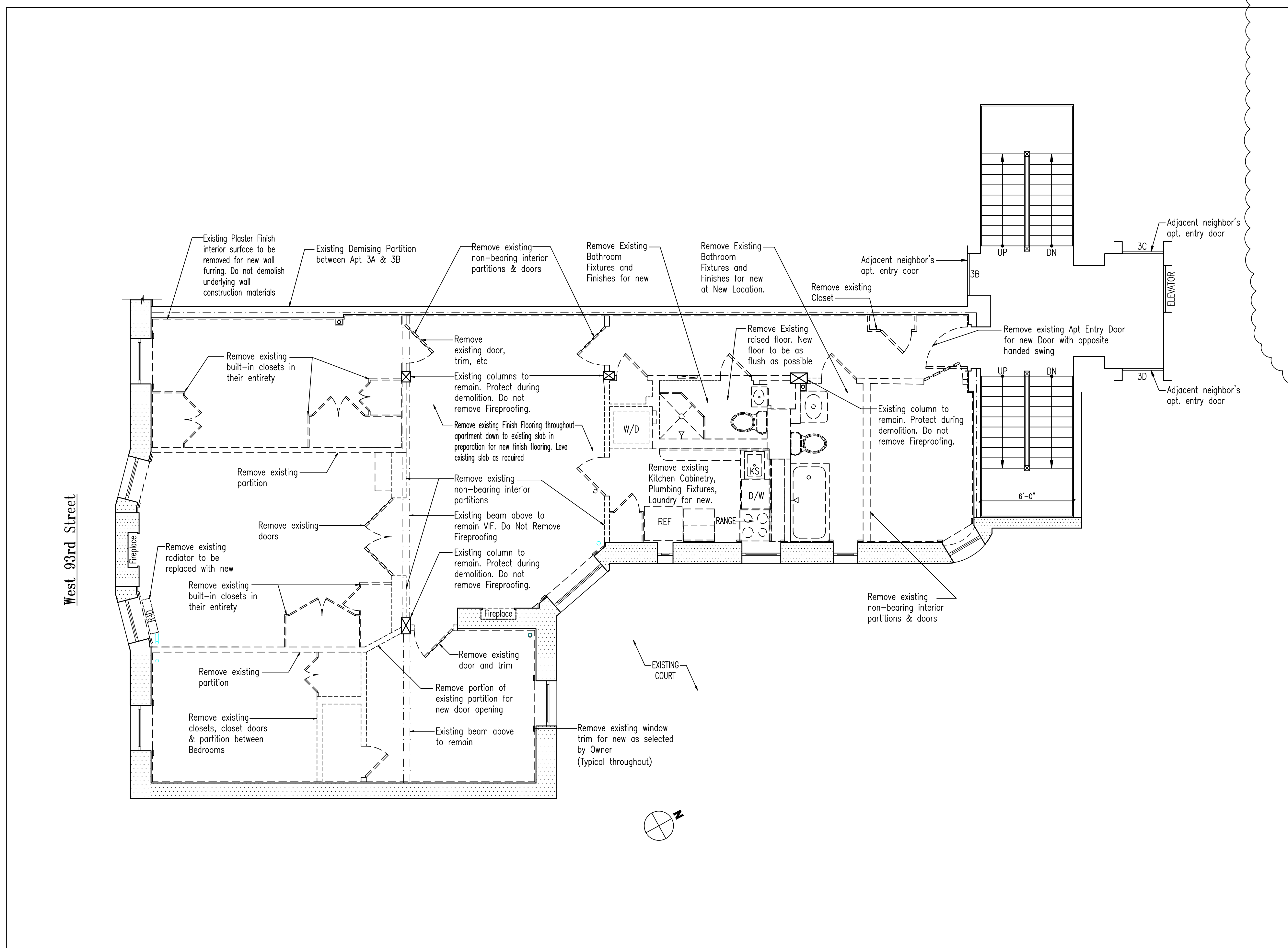
Proj #:	JA2009TING1
Drawn By:	DS
Checked By:	
Date:	1/23/2010
Issed For:	

DRAWING TITLE:

3RD FL DEMOLITION PLAN

Drawing Number:

A-002.00



1 3rd FI Demolition Plan
 SCALE: 1/4" = 1'-0" Apartment 3A

Department of Buildings Approvals:

Door Schedule								
Floor	DOOR							NOTES
	Door No	Rating	Width	Height	Thick	MAT	TYPE	
THIRD	①	1½-HR FPSC	2'-8"	6'-8"	1½"	METAL	SWING DOOR	FPSC Apt Entry Door. Provide Peekhole, Chain Latch, and Deadbolt locking mechanism. Match Bldg Std.
	②	NR	2'-10"	6'-8"	1½"	SCWD	POCKET DOOR	PRIVACY LATCH
	③	NR	2'-4"	6'-8"	1½"	SCWD	SWING DOOR	PRIVACY LATCH
	④	NR	2'-0"	6'-8"	1½"	SCWD	SWING DOOR	HALL CLOSET
	⑤	NR	2'-10"	6'-8"	1½"	SCWD	SWING DOOR	PRIVACY LATCH. Provide future reversible Door Jamb
	⑥	NR	(4) 2'-0"	6'-8"	1½"	SCWD	SLIDING DOOR	(2) DBL SLIDING CLOSET DOOR

Door Schedule								
Floor	DOOR							NOTES
	Door No	Rating	Width	Height	Thick	MAT	TYPE	
THIRD	⑦	NR	2'-10"	6'-8"	1½"	SCWD	SWING DOOR	PRIVACY LATCH
	⑧	NR	2'-10"	6'-8"	1½"	SCWD	SWING DOOR	PRIVACY LATCH
	⑨	NR	(2) 1'-6"	6'-8"	1½"	SCWD	SLIDING DOOR	1 PAIR OF SLIDING CLOSET DOOR
	⑩	NR	(2) 1'-6"	6'-8"	1½"	SCWD	SLIDING DOOR	1 PAIR OF SLIDING CLOSET DOOR
	⑪	NR	2'-10"	6'-8"	1½"	SCWD	SWING DOOR	PRIVACY LATCH
	⑫	NR	2'-0"	6'-8"	1½"	SCWD	2-LEAF FOLDING DOOR	LOUVER DOOR FOR LAUNDRY

Legend:

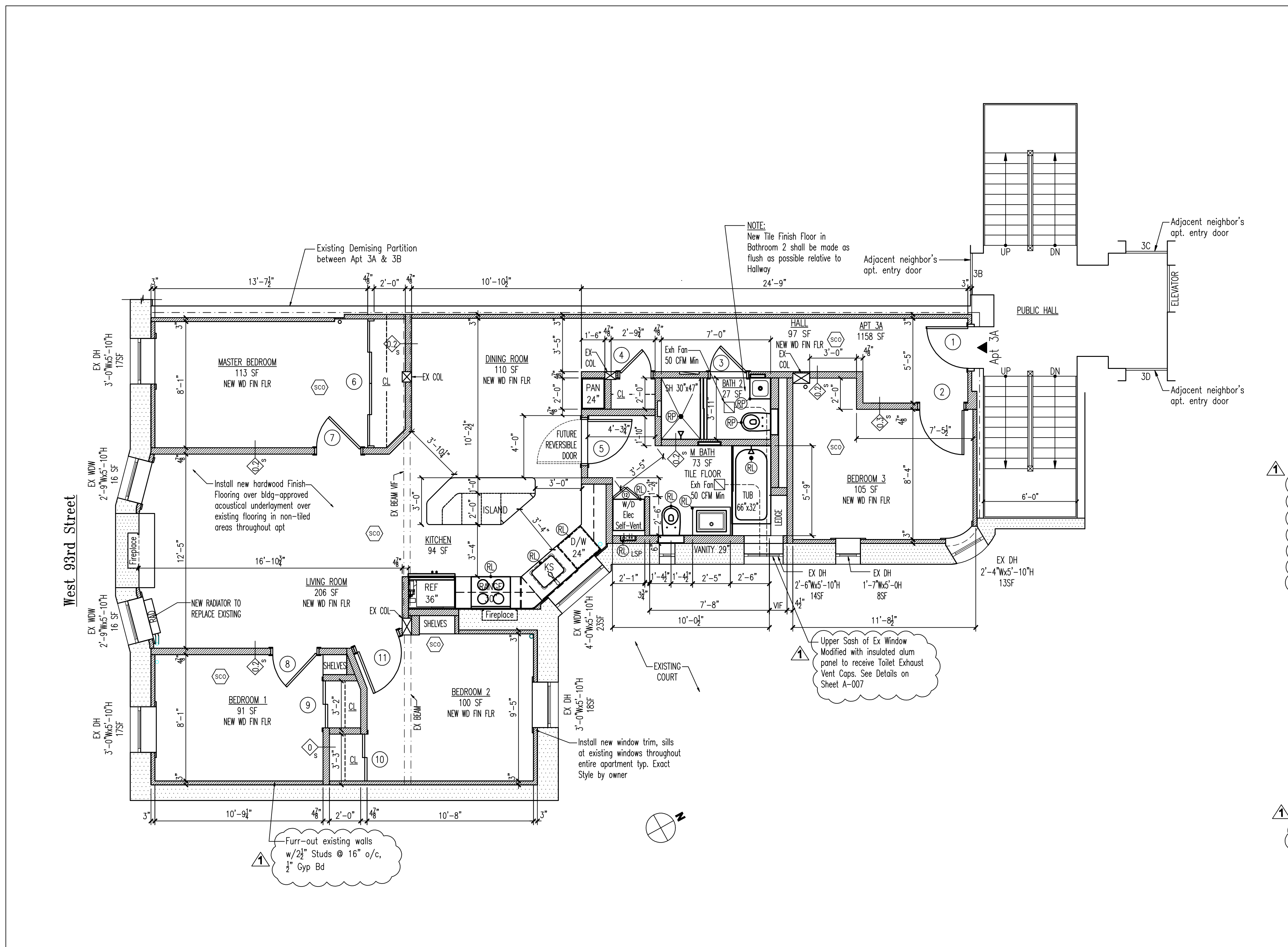
- Existing Brick/Masonry wall to remain.
- Existing demising wall/partition to remain. Maintain Fire Rating.
- Existing wall/partition to remain.
- Existing wall/partition/door to be removed (Shown Dashed Typical)
- New Interior non-rated partition. See Partition Details.
- Approved, UL-Listed Combination Smoke/Carbon Monoxide Detector per Local Law 7/04
- New Door-Refer to Door Schedule

Plumbing Fixture Legend:

- Note: Fixtures are existing to remain unless otherwise noted on plan:
- Existing fixture to be removed. Cap lines as required.
 - Existing fixture to be replaced or relocated on new Branch Piping back to Existing Risers.
 - Existing fixture to be replaced or relocated on new Branch Piping back to Existing Risers.
 - New fixture. New Branch Piping back to Existing Risers.

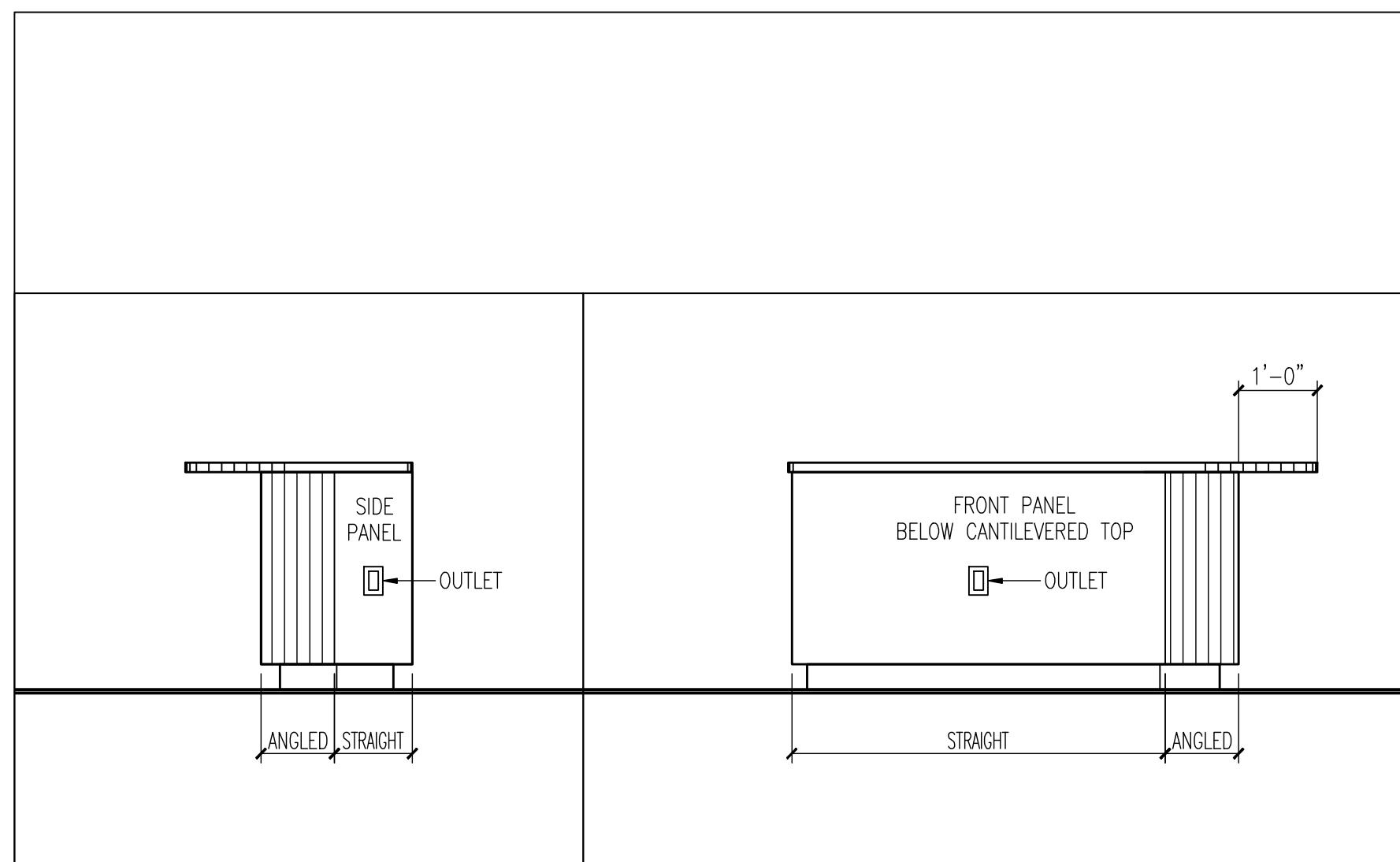
Construction Notes:

- Scope of Application is for Interior, Non-Structural Alterations to existing Apartment 3A.
- No Change to Use, Egress, or Occupancy under this application.
- The scope of work under this application does not lower the building's fire and structural safety below the applicable standards when the building was lawfully constructed.
- All Branch Piping must be replaced back to the Risers at Bathrooms and Kitchen. This includes Waste, Vent, Hot and Cold Supply Risers. New Hot and Cold supply Risers shall be insulated. Accessible Shutoff Valves shall be provided on all new branch supply lines. Under no circumstances shall there be cutting, moving, and/or removing of the risers, supply, vent or drain lines.
- A Waterproof Membrane (Laticrete 9235 or bldg-approved equal) is to be provided throughout the entire renovated Bathrooms and Kitchen. The membrane shall be turned up all walls min 6". See Details on Sheet A-008.
- Within the Master Bathroom, run all waterproofing below the tub along with waterproofing up the side of the tub to create a waterproofed curb below the platform framing.
- Any work requiring a building shut down must be coordinated by the GC with the Building Superintendent.
- The proposed Washer/Dryer shall be equipped with an Automatic Shutoff Valve and Sensor. See Laundry Equipment Detail.
- The Dryer is Self-Venting and Electric. Not vented to exterior.
- Chopping or Trenching of Structural Slabs is not permitted. Plumbing Branch Lines must be run above Structural Slab. Under no circumstances shall there be cutting, trenching, and/or channeling of the concrete floor or ceiling slabs.
- Install new wood finish flooring and plywood subbase over existing concrete slab and Enkasonic sound control matting (or bldg-approved equal) in Kitchen, Bedrooms, and Hallway. See Flooring Details on Sheet A-008. Existing Concrete Slab is to be prepared and leveled in preparation for new flooring installation. Finish flooring shall extend under the Kitchen Sink and adjacent Dishwasher area for future H/C adaptability.
- Exact selection of Kitchen Cabinets, Finish Flooring, Base, Door Trim, Bathroom Finishes, Appliances, Plumbing Fixtures, Light Fixtures, Paint, etc shall be made by Owner. Closet Interiors to be selected by Owner.
- New Toilet in Master Bath and Bath #2 shall be "Back Outlet" type. All Toilets must be 1.6 Gallon Low Flush Toilets.
- All new work to be Handicap Adaptable in Kitchen, Bedrooms. Refer to G-001.00. Bath 2 is additional to the minimum 3-piece bathroom requirement and is replacement of fixtures on existing roughing, therefore does not need to be Handicap Adaptable.
- The Kitchen and surrounding counter shall be adjustable or replaceable as a unit at variable heights between 28 and 36 inches, measured from the finished floor to the top of the counter surface or sink rim. Or, the countertop shall be set at a height of 34". Base cabinet below Kitchen Sink shall be removable under the full frontage of the sink and surrounding counter, as well as for the adjacent Dishwasher Area for future accessible work surface. The finished flooring shall extend under the counter to the wall.
- The upper kitchen cabinets shall be mounted in such a way as to allow re-hanging such that the lowest shelf is no higher than 48" c.f.f.
- All appliances shall comply with the requirements of ANSI A117.1-1996.



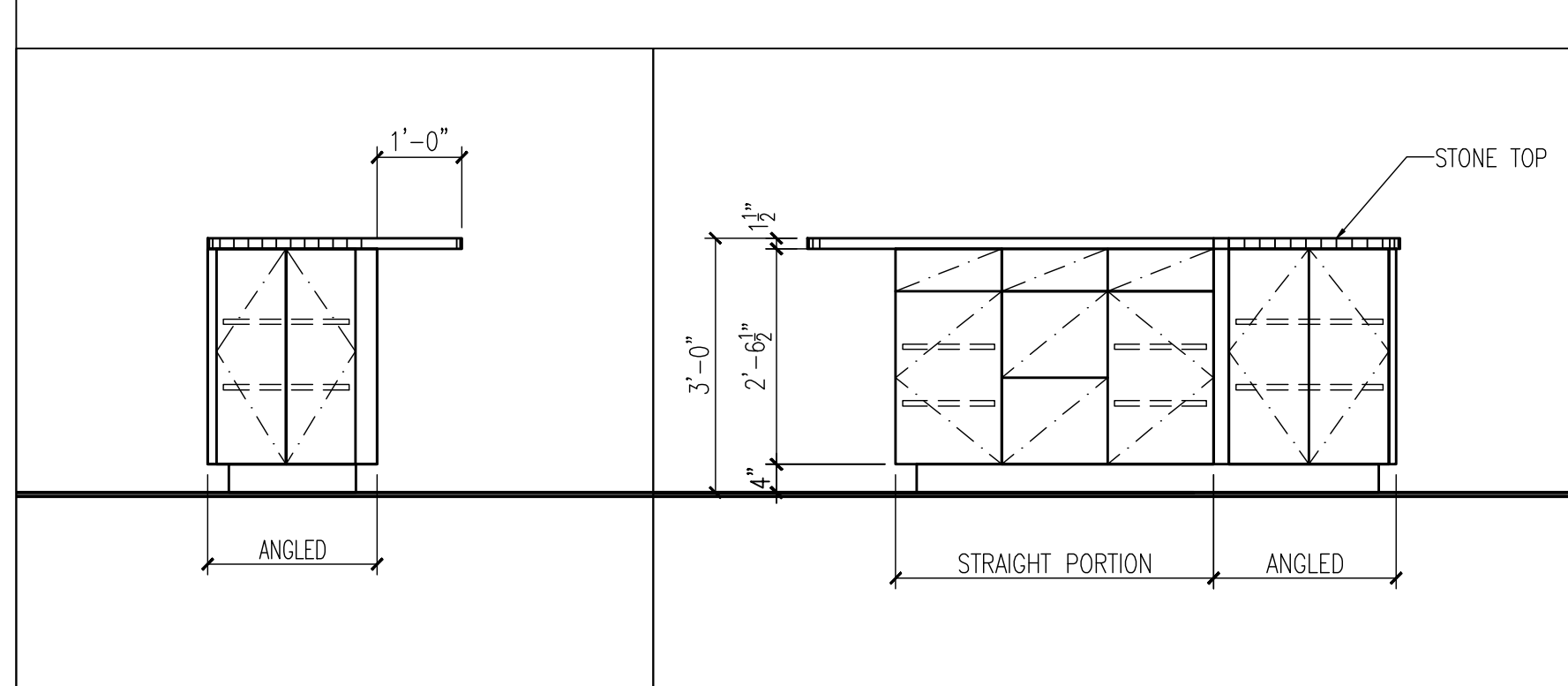
1 3rd FI Construction Plan
SCALE: 1/4" = 1'-0" Apartment 3A

CLIENT		
ADRIAN TING 317 W 93RD ST. 3RD FLOOR, APT.3A NEW YORK, NY 10025 Contact: ADRIAN TING Tel: —		
STRUCTURAL ENGINEER: — Tel: —		
CODE/ZONING CONSULTANT: — Tel: —		
ARCHITECT OF RECORD		
Anzalone Architecture PLLC 332 Douglass Street, Suite #2F Brooklyn, NY 11217 Tel: 347-220-1173 Fax: 347-214-0124 E-mail: james@jamesanzalone.com www.jamesanzalone.com		
James Ian Anzalone, AIA NYS RA Lic # 026010		
SEAL		
Rev	Date	Bldg Architects Comments
4.20.10		
Revisions		
ACAD File Name: A-003.00 3rd FI Construction Plan.dwg		
PROJECT TITLE:		
APARTMENT RENOVATION		
317 W 93RD ST. 3RD FLOOR, APT.3A NEW YORK, NY 10025		
Proj #:	JA2009TING1	
Drawn By:	DS	
Checked By		
Date	1/23/2010	
Issed For		
DRAWING TITLE:		
3RD FL CONSTRUCTION PLAN		
Drawing Number:		
A-003.00		



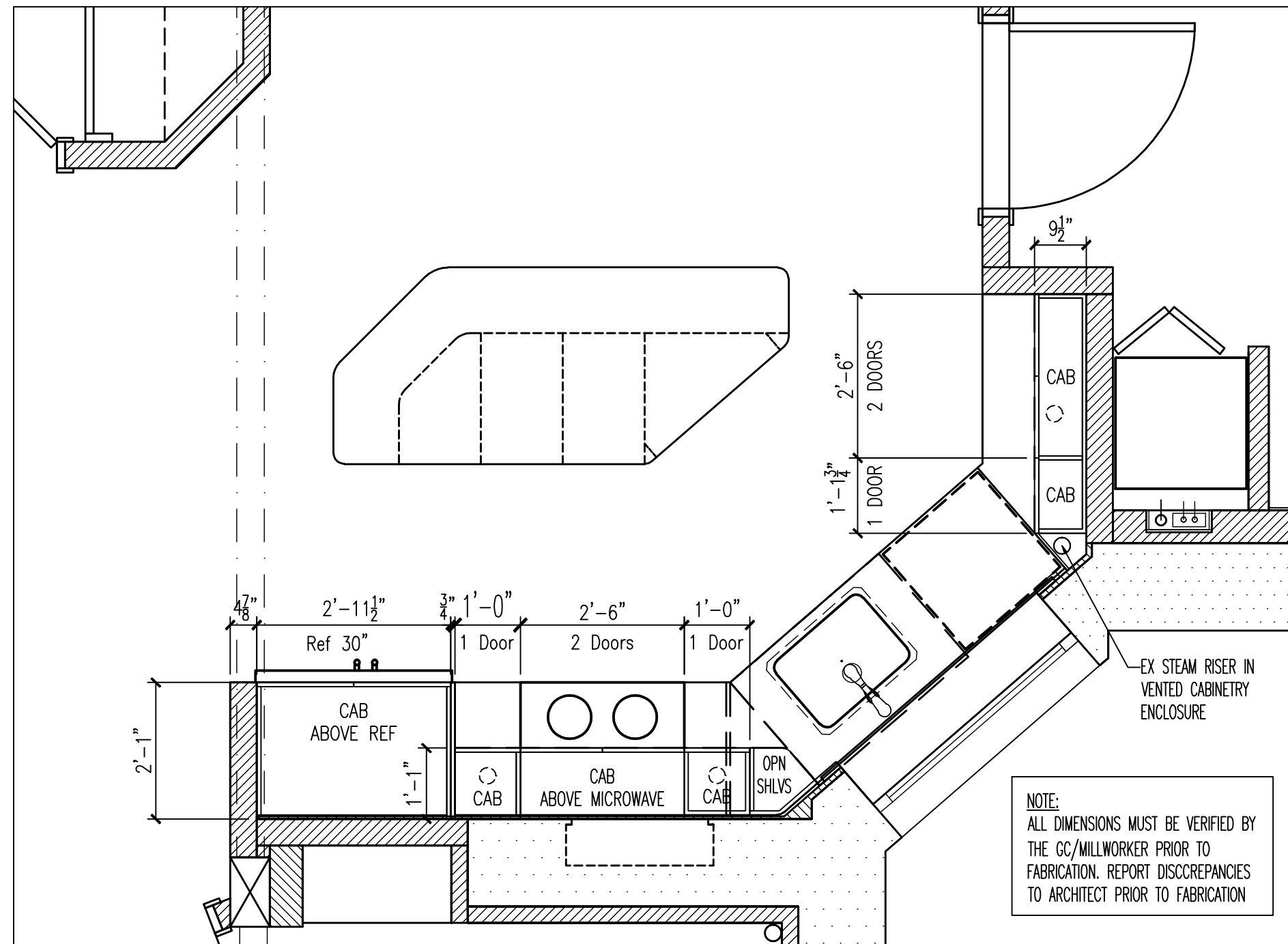
7 Island-Right
SCALE: 1/2" = 1'-0"

6 Island-Front
SCALE: 1/2" = 1'-0"

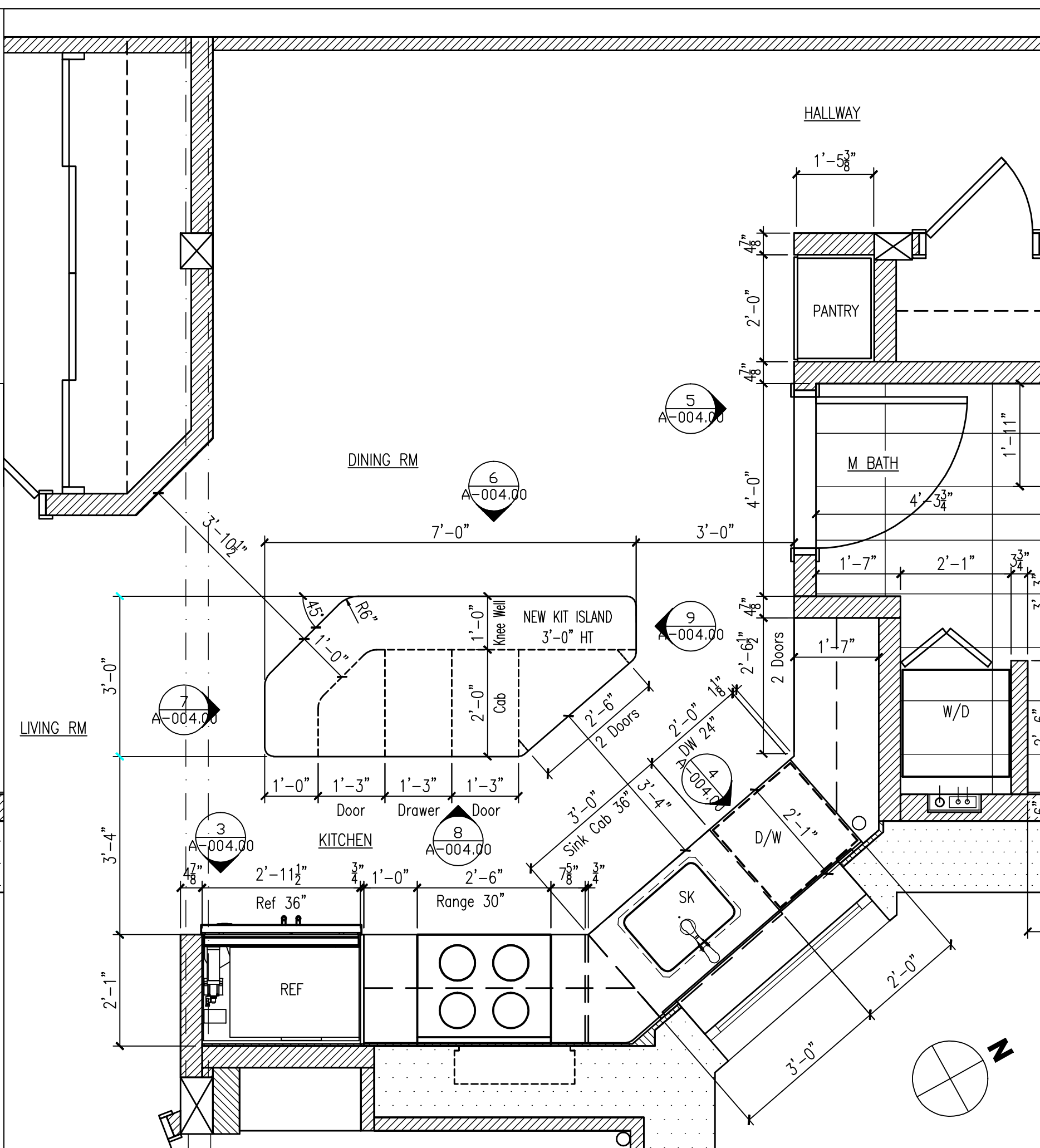


9 Island-Left
SCALE: 1/2" = 1'-0"

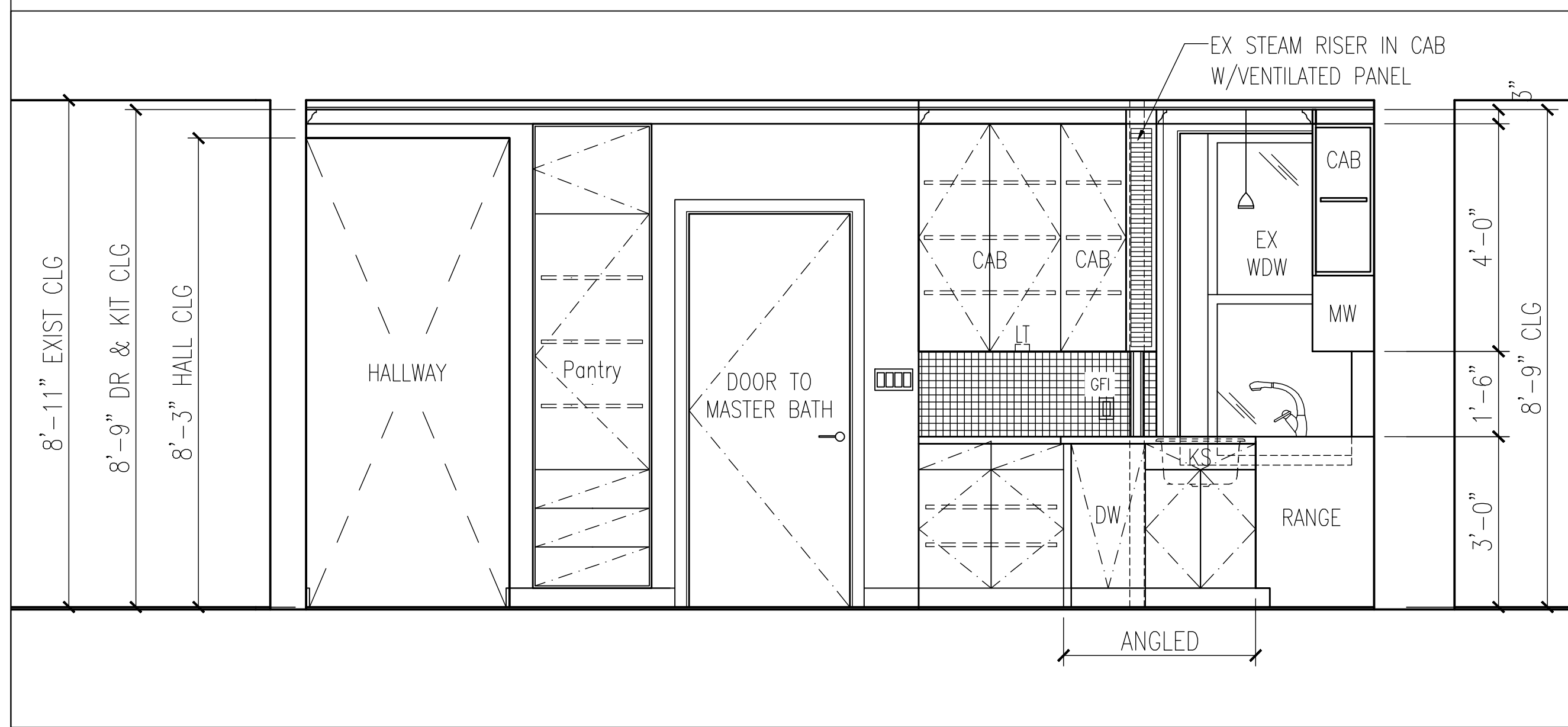
8 Island-Back
SCALE: 1/2" = 1'-0"



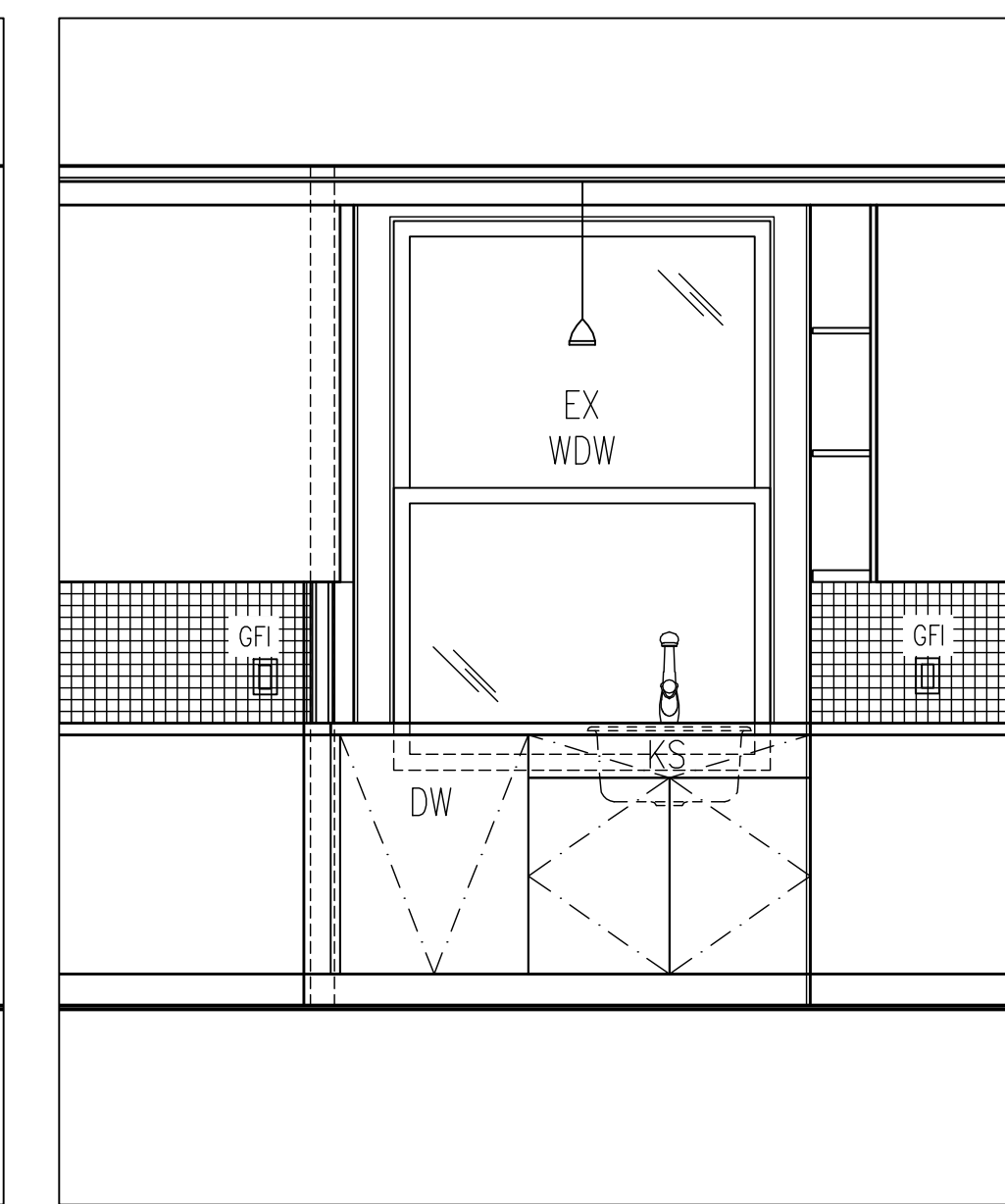
2 Kitchen-Upper Cabinet Plan
SCALE: 1/2" = 1'-0"



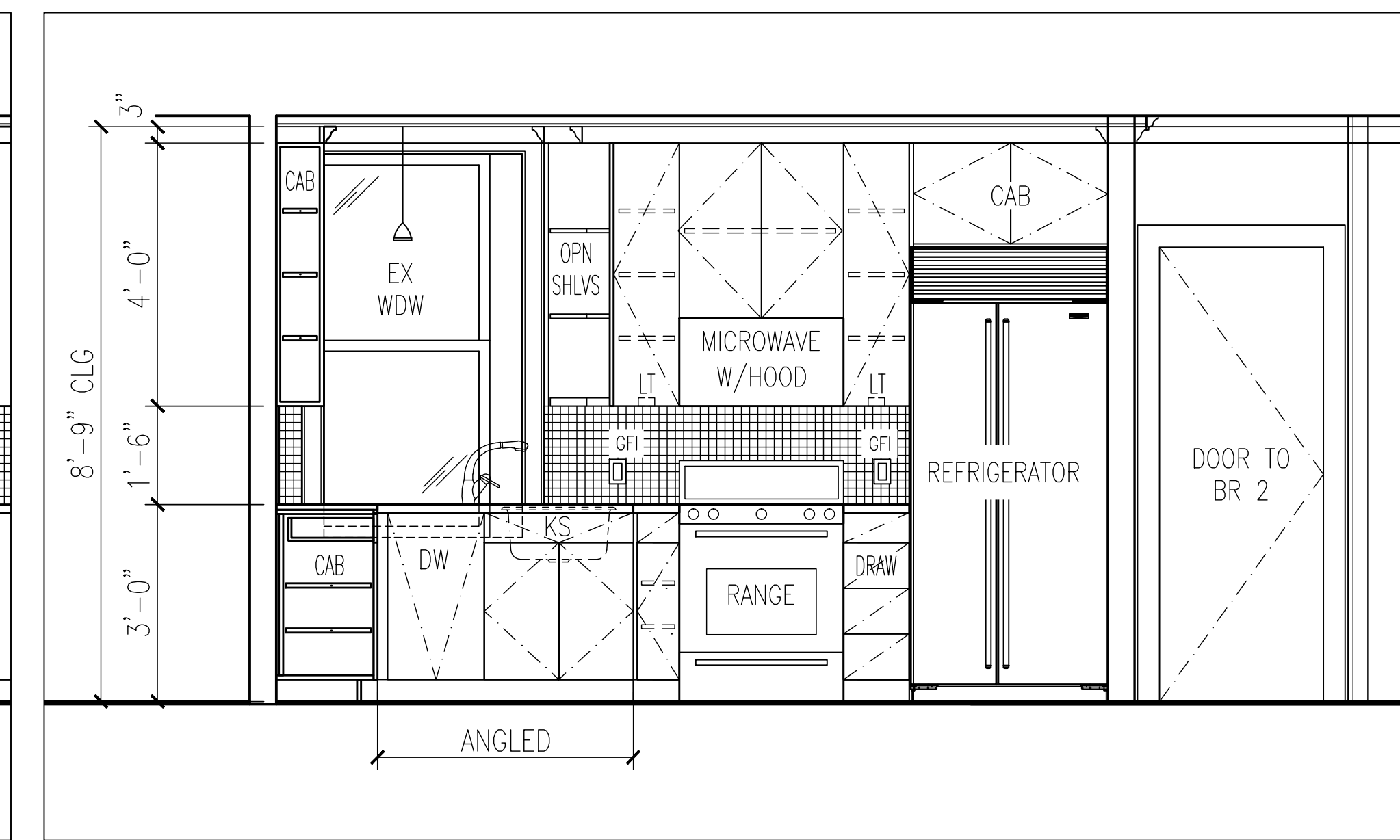
1 Enlarged Kitchen Plan
SCALE: 1/2" = 1'-0"



5 Kitchen North Elevation
SCALE: 1/2" = 1'-0"



4 Kitchen Wdw Elev
SCALE: 1/2" = 1'-0"



3 Kitchen East Elevation
SCALE: 1/2" = 1'-0"

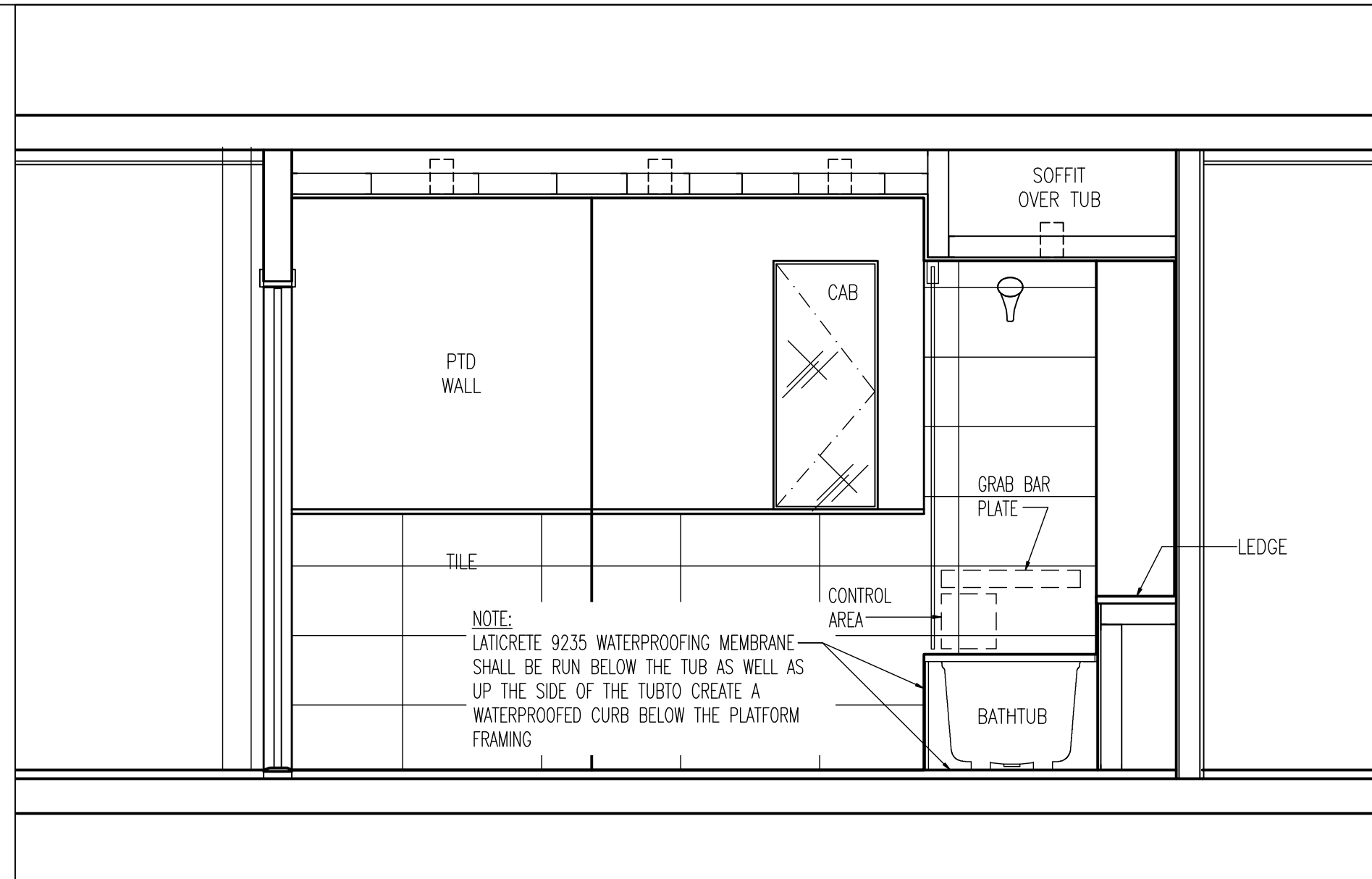
CLIENT
ADRIAN TING
317 W 93RD ST.
3RD FLOOR, APT.3A
NEW YORK, NY 10025
Contact: ADRIAN TING
Tel: —
Tel: —
Tel: —
STRUCTURAL ENGINEER:
—
Tel: —
CODE/ZONING CONSULTANT:
—
Tel: —
ARCHITECT OF RECORD

Anzalone Architecture PLLC
332 Douglass Street, Suite #2F
Brooklyn, NY 11217
Tel: 347-220-1173
Fax: 347-214-0124
E-mail: james@jamesanzalone.com
www.jamesanzalone.com
James Ian Anzalone, AIA
NYS RA Lic # 026010

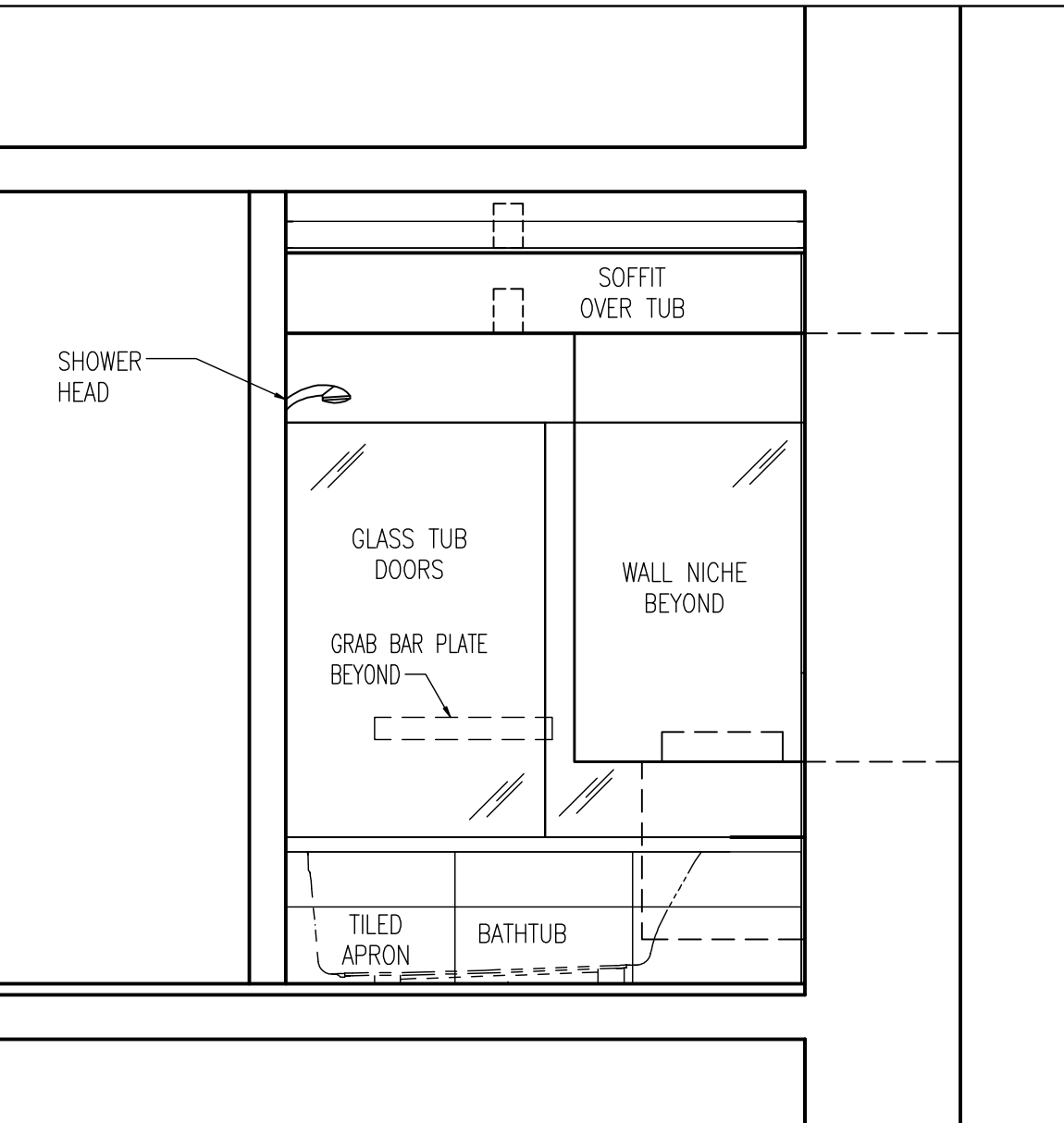
SEAL

Rev	Date	Description
Revisions		
ACAD File Name: A-004.00 Kitchen Plan.dwg		
PROJECT TITLE: APARTMENT RENOVATION		
317 W 93RD ST. 3RD FLOOR, APT.3A NEW YORK, NY 10025		
Proj #:	JA2009TING1	
Drawn By:	DS	
Checked By:		
Date:	3/3/2010	
Issed For:		

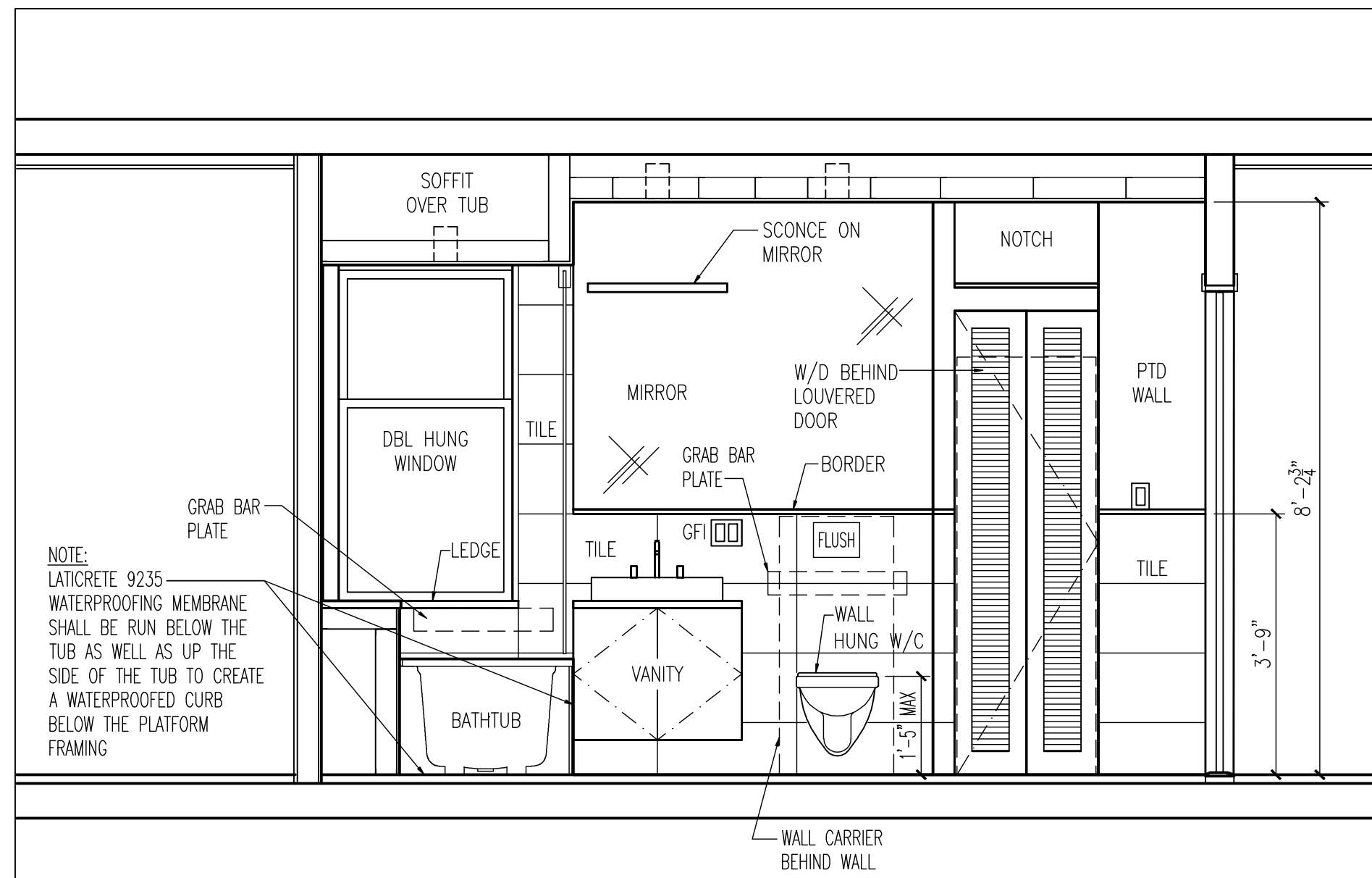
DRAWING TITLE:
KITCHEN PLAN
Drawing Number:
A-004.00



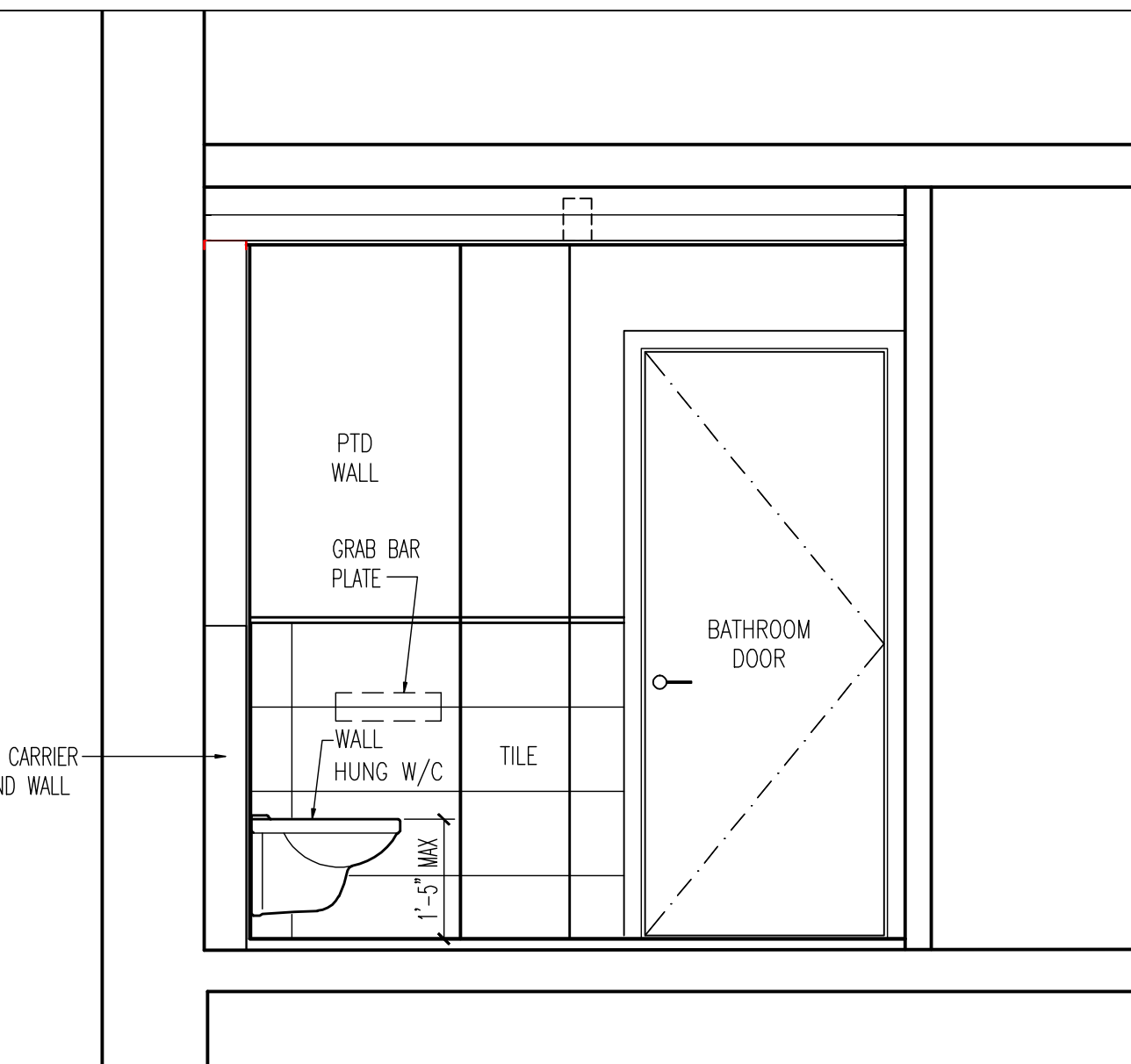
3 ELEV-M BATH WEST
SCALE: 1/2" = 1'-0"



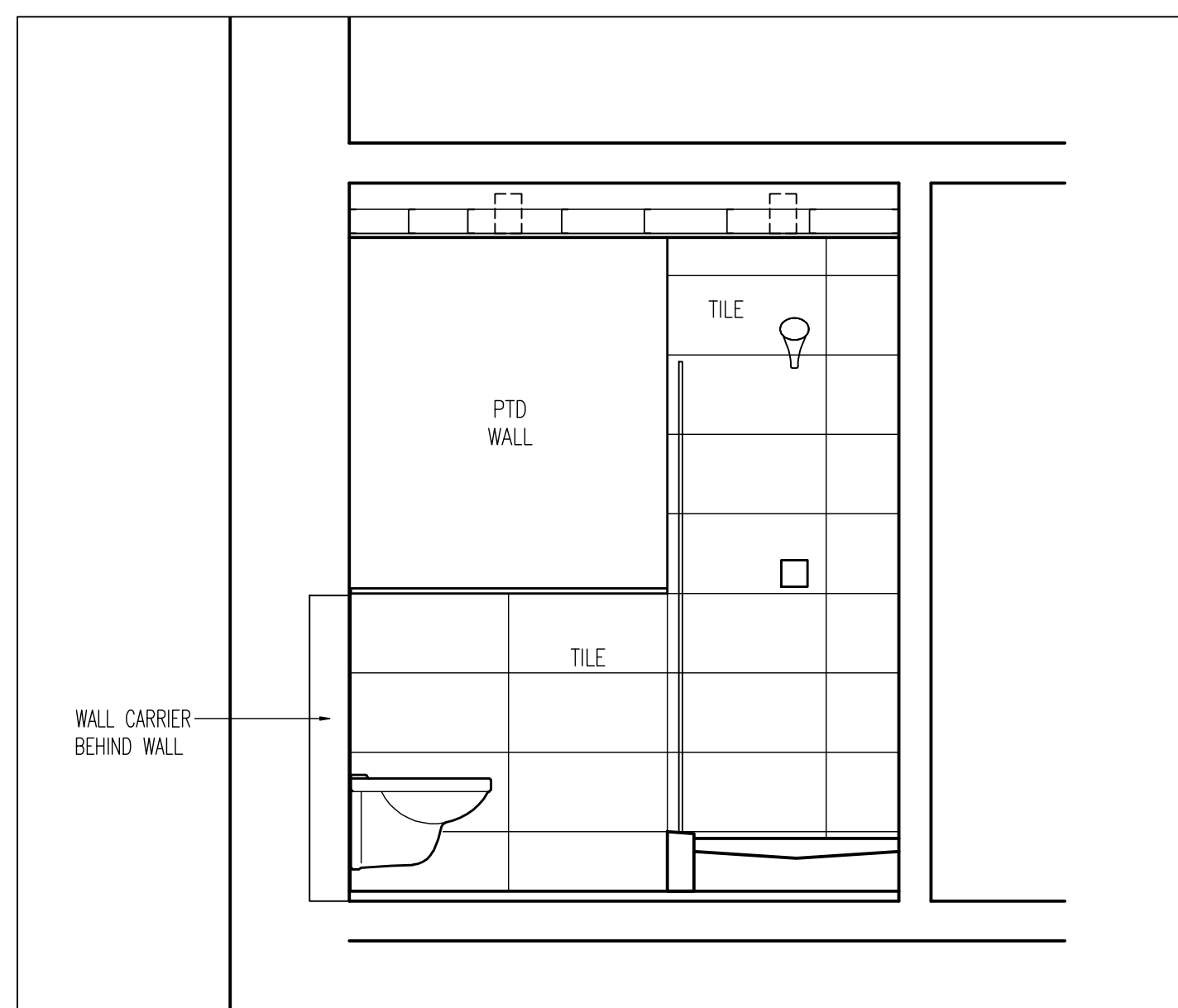
2 ELEV-M BATH NORTH
SCALE: 1/2" = 1'-0"



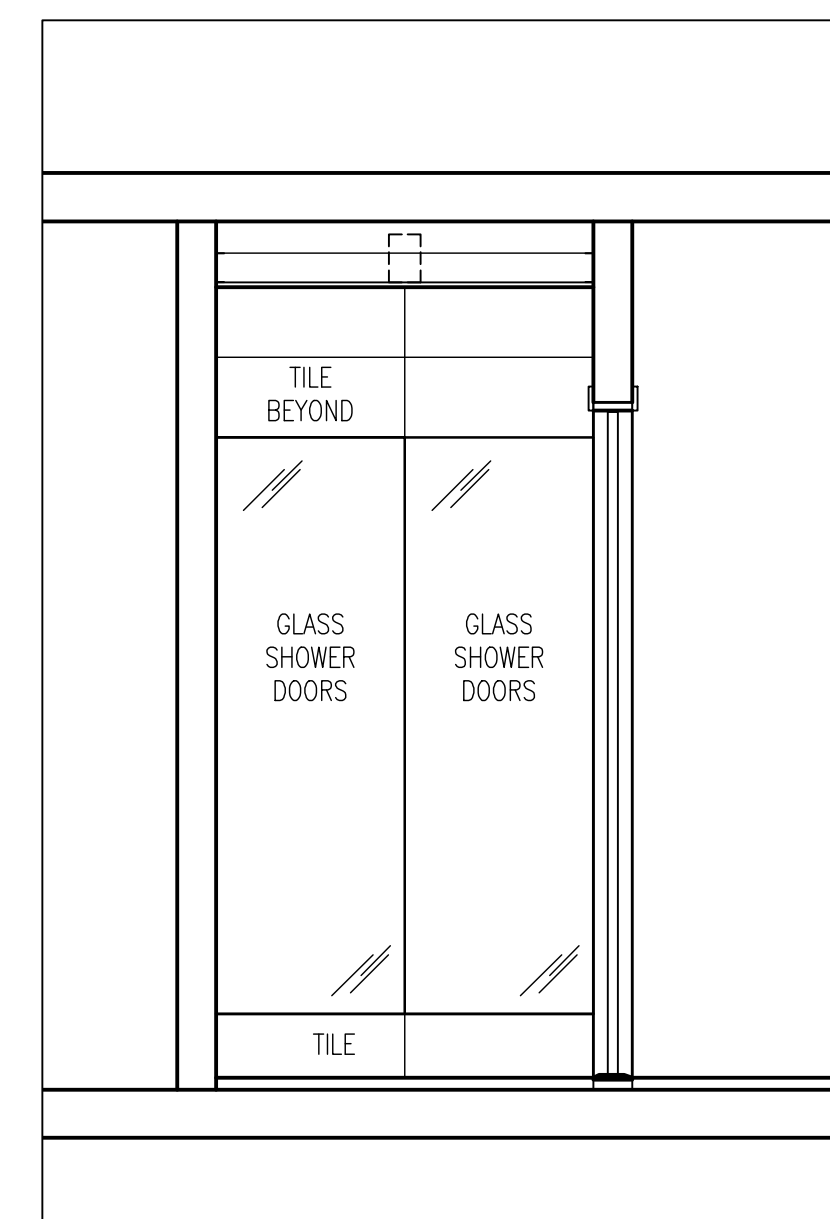
5 ELEV-M BATH EAST
SCALE: 1/2" = 1'-0"



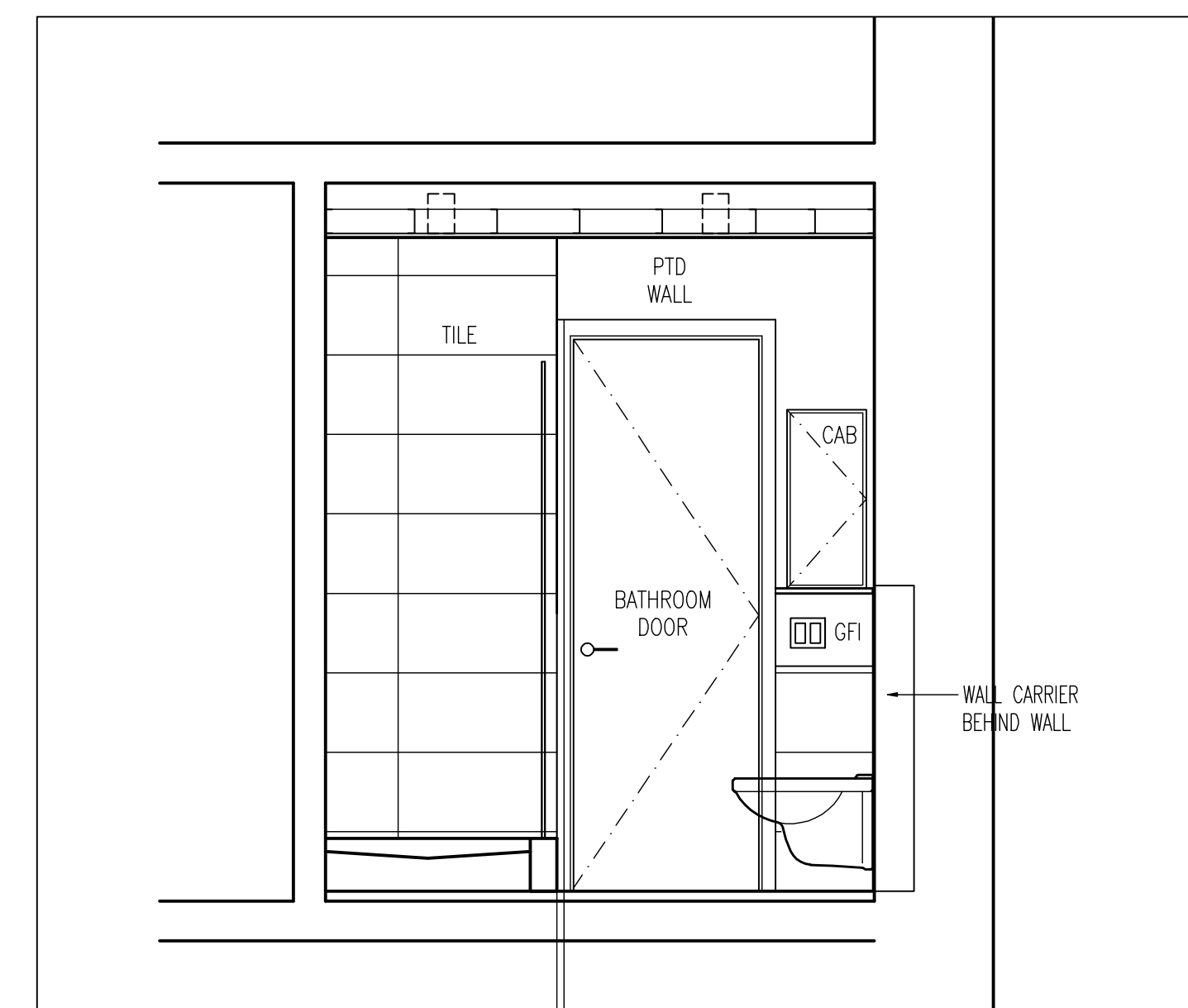
4 ELEV-M BATH SOUTH
SCALE: 1/2" = 1'-0"



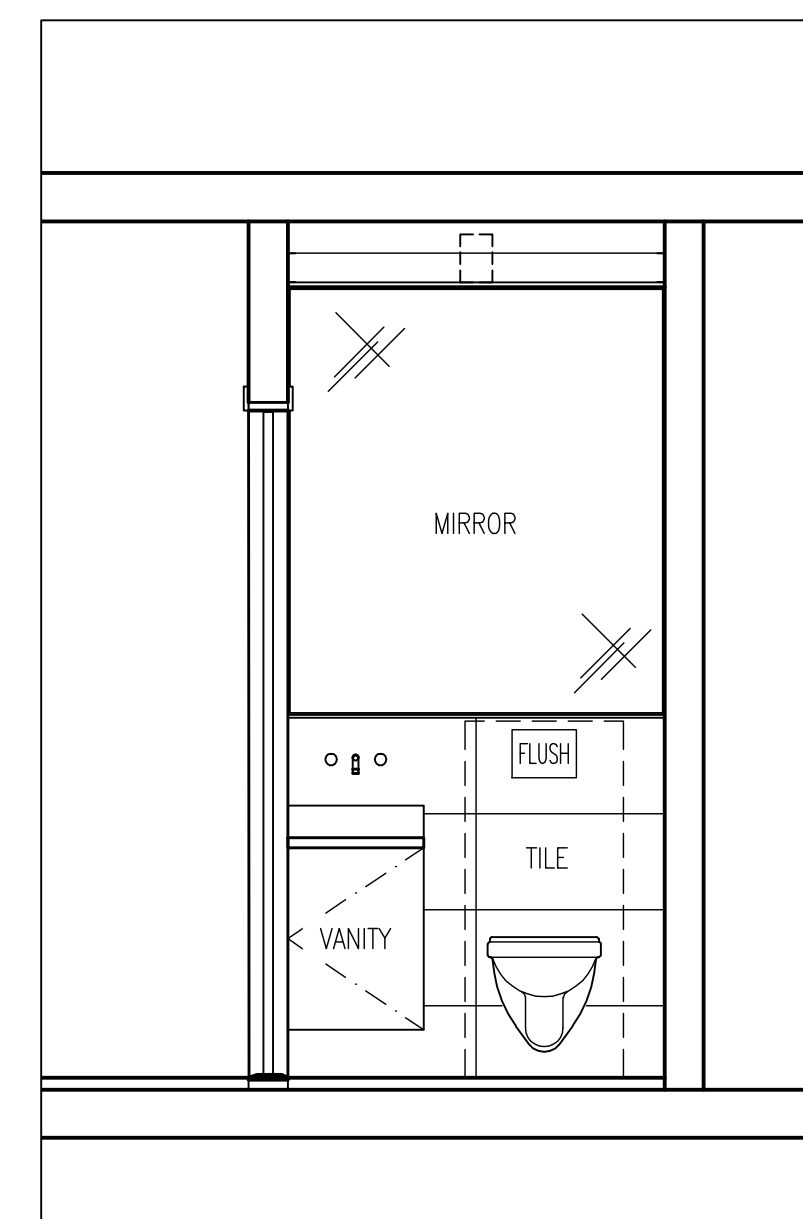
9 ELEV-BATH 2 E
SCALE: 1/2" = 1'-0"



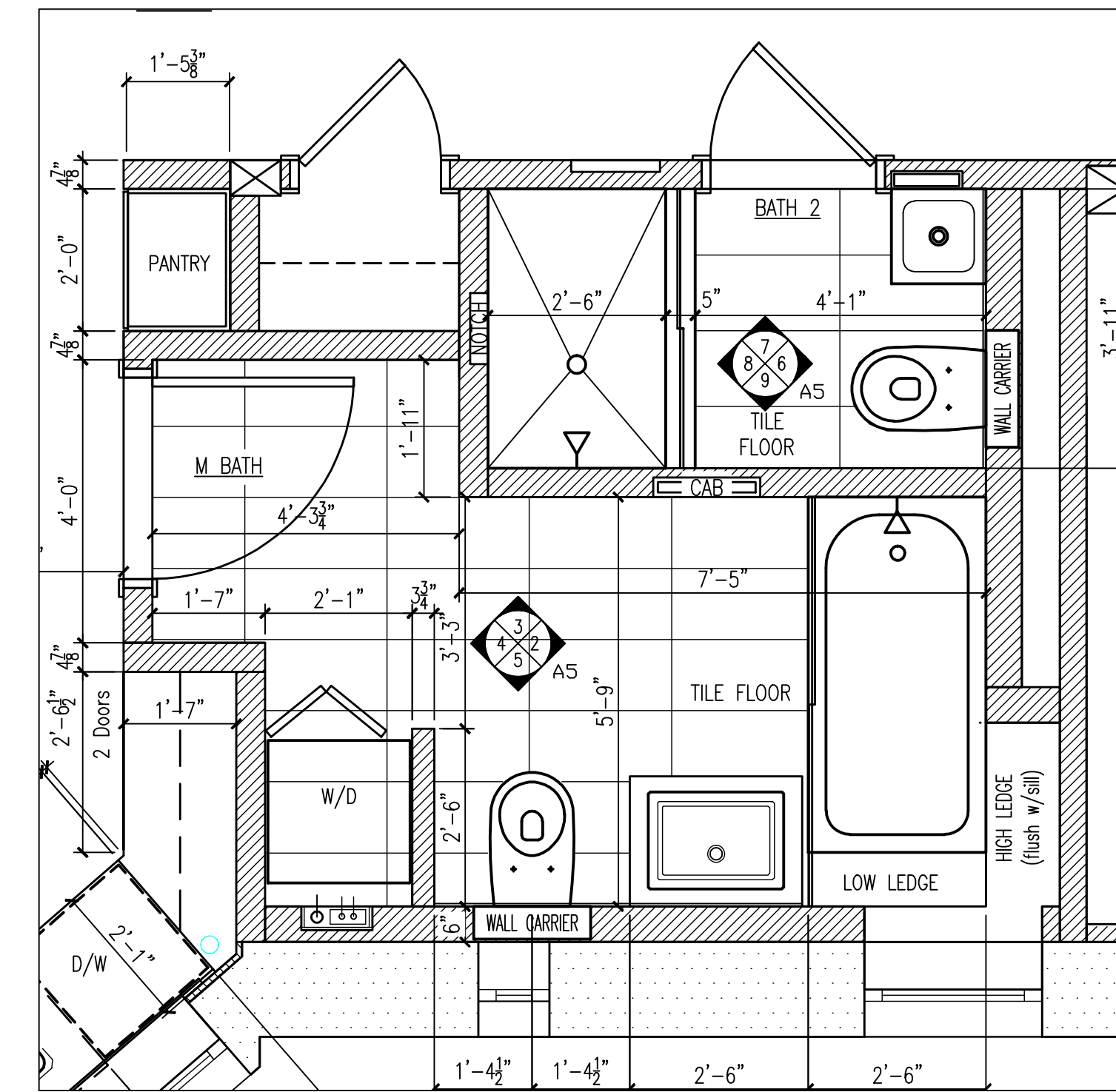
8 ELEV-BATH 2 S
SCALE: 1/2" = 1'-0"



7 ELEV-BATH 2 W
SCALE: 1/2" = 1'-0"



6 ELEV-BATH 2 N
SCALE: 1/2" = 1'-0"



1 Enlarged Bathroom Plan
SCALE: 1/2" = 1'-0"

CLIENT

ADRIAN TING
317 W 93RD ST.
3RD FLOOR, APT.3A
NEW YORK, NY 10025
Contact: ADRIAN TING
Tel: —

STRUCTURAL ENGINEER:

CODE/ZONING CONSULTANT:

ARCHITECT OF RECORD

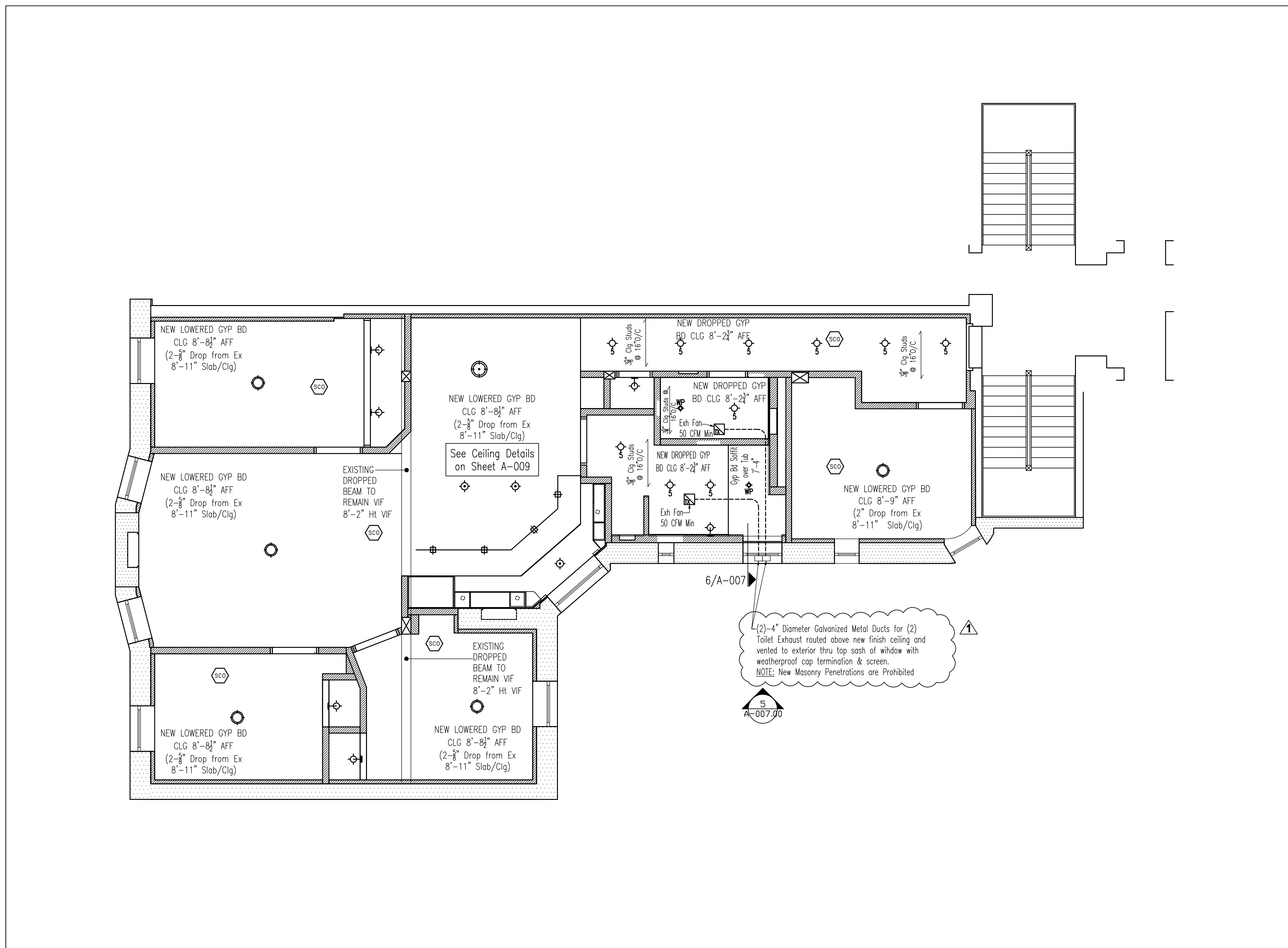
Anzalone Architecture PLLC
332 Douglass Street, Suite #2F
Brooklyn, NY 11217
Tel: 347-220-1173
Fax: 347-214-0124
E-mail: james@jamesanzalone.com
www.jamesanzalone.com

James Ian Anzalone, AIA
NYS RA Lic # 026010

Rev	Date	Description
Revisions		
ACAD File Name:		
A-005.00 Bathroom Elevation-Details.dwg		
PROJECT TITLE:		
APARTMENT RENOVATION		
317 W 93RD ST. 3RD FLOOR, APT.3A NEW YORK, NY 10025		
Proj #:	JA2009TING1	
Drawn By:	DS	
Checked By:		
Date:	3/18/2010	
Issued For:		

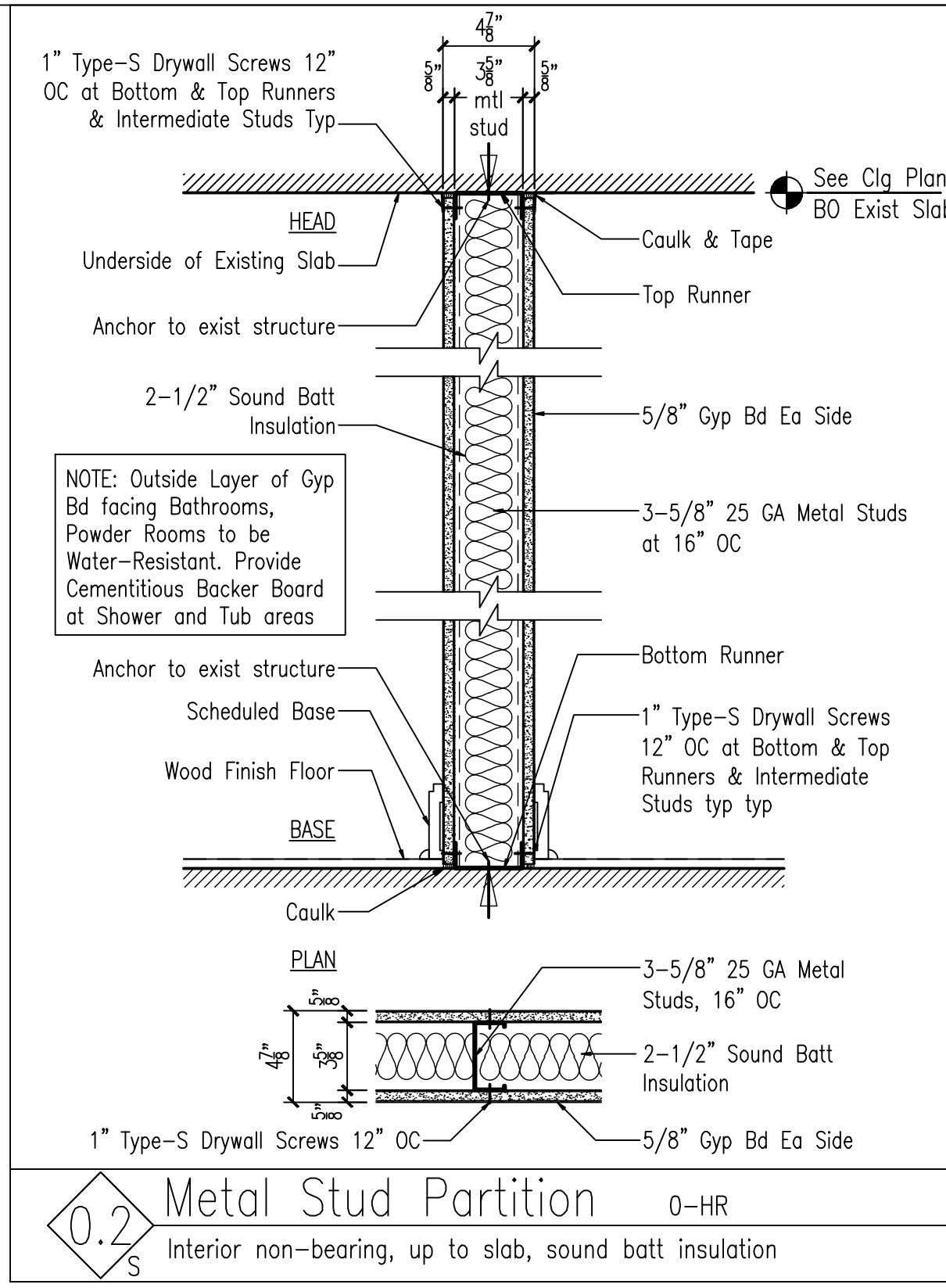
DRAWING TITLE:
BATHROOM ELEVATION-DETAILS
Drawing Number:

A-005.00

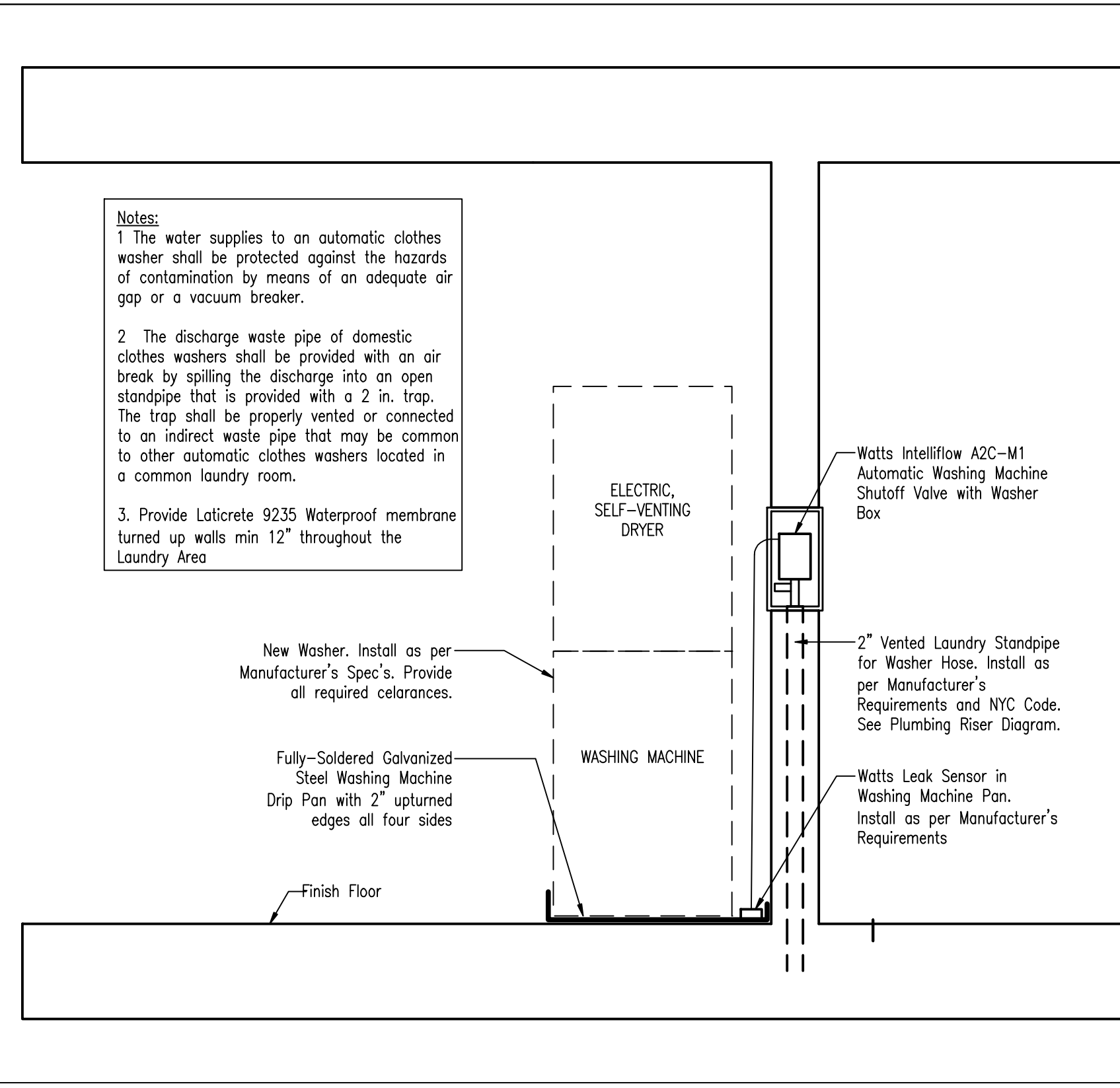


1 3rd FI Reflected Ceiling Plan
SCALE: 1/4" = 1'-0"

Electrical Legend		CLIENT					
	New Gyp Bd Clg See Plan for Height	ADRIAN TING 317 W 93RD ST. 3RD FLOOR, APT.3A NEW YORK, NY 10025 Contact: ADRIAN TING Tel: —					
	Approved Type Combination Smoke Carbon Monoxide Detector						
	Recessed Waterproof Shower Downlight						
	5" Recessed Downlight Remodeler						
	Surface Mounted Light Fixture						
	Large Pendant Light Fixture						
	Small Pendant Light Fixture						
	Toilet Exhaust Fan 50 CFM						
	Approved, Listed type Closet Light						
	Undercabinet Light						
	Track Light w/recessed track						
NOTE: See Ceiling Details on Sheet A-008							
STRUCTURAL ENGINEER:							
CODE/ZONING CONSULTANT:							
ARCHITECT OF RECORD							
Anzalone Architecture PLLC 332 Douglass Street, Suite #2F Brooklyn, NY 11217 Tel: 347-220-1173 Fax: 347-214-0124 E-mail: james@jamesanzalone.com www.jamesanzalone.com James Ian Anzalone, AIA NYS RA Lic # 026010							
SEAL							
<table border="1"> <thead> <tr> <th>Rev</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td>▲</td> <td>4.20.10</td> <td>Bldg Architects Comments</td> </tr> </tbody> </table>		Rev	Date	Description	▲	4.20.10	Bldg Architects Comments
Rev	Date	Description					
▲	4.20.10	Bldg Architects Comments					
Revisions							
LEGAL NOTES: 1 THESE CONSTRUCTION DOCUMENTS—PLANS, SPECIFICATIONS, ADDENDA, CLARIFICATIONS AND THE LIKE, MAY ONLY BE USED WITH THE WRITTEN AUTHORIZATION OF THE ARCHITECT OF RECORD 2 UNAUTHORIZED USE AND/OR ALTERATION, BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON OR IN THESE CONSTRUCTION DOCUMENTS—PLANS, SPECIFICATION ADDENDA, CLARIFICATIONS AND THE LIKE UNLESS ACTING UNDER THE SPECIFIC WRITTEN DIRECTION OF THE LICENSED PERSON(S) WHOSE PROFESSIONAL SEAL(S) ARE AFFIXED HERETO, IS PROHIBITED HEREWITS AND A VIOLATION OF TITLE VIII SECTION 69.5 (b) OF NEW YORK STATE LAW. 3 ALL IDEAS, DESIGNS, ARRANGEMENTS, PLANS AND SPECIFICATIONS, ADDENDA, CLARIFICATION, AND THE LIKE, INDICATED AND/OR REPRESENTED BY THESE CONSTRUCTION DOCUMENTS, ARE OWNED EXCLUSIVELY BY THE ARCHITECT OF RECORD. 4 THESE WERE CREATED, AND DEVELOPED FOR THE EXCLUSIVE AND SPECIFIC USE ON, AND IN CONNECTION WITH, THIS PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, PLANS AND SPECIFICATION, ADDENDA, AND THE LIKE, AND SIMILAR RELATED DOCUMENTS, SHALL BE USED AND/OR REPRODUCED FOR ANY OTHER PURPOSE WHATSOEVER, WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE ARCHITECT OF RECORD.							
ACAD File Name: A-006.00 3rd FI Reflected Ceiling Plan.dwg PROJECT TITLE: APARTMENT RENOVATION 317 W 93RD ST. 3RD FLOOR, APT.3A NEW YORK, NY 10025 Proj #: JA2009TING1 Drawn By: DS Checked By: Date: 3/3/2010 Issed For:							
DRAWING TITLE: 3RD FL REFLECTED CEILING PLAN Drawing Number:							
A-006.00							



2 Typ Partition Detail
SCALE: 1 1/2" = 1'-0"



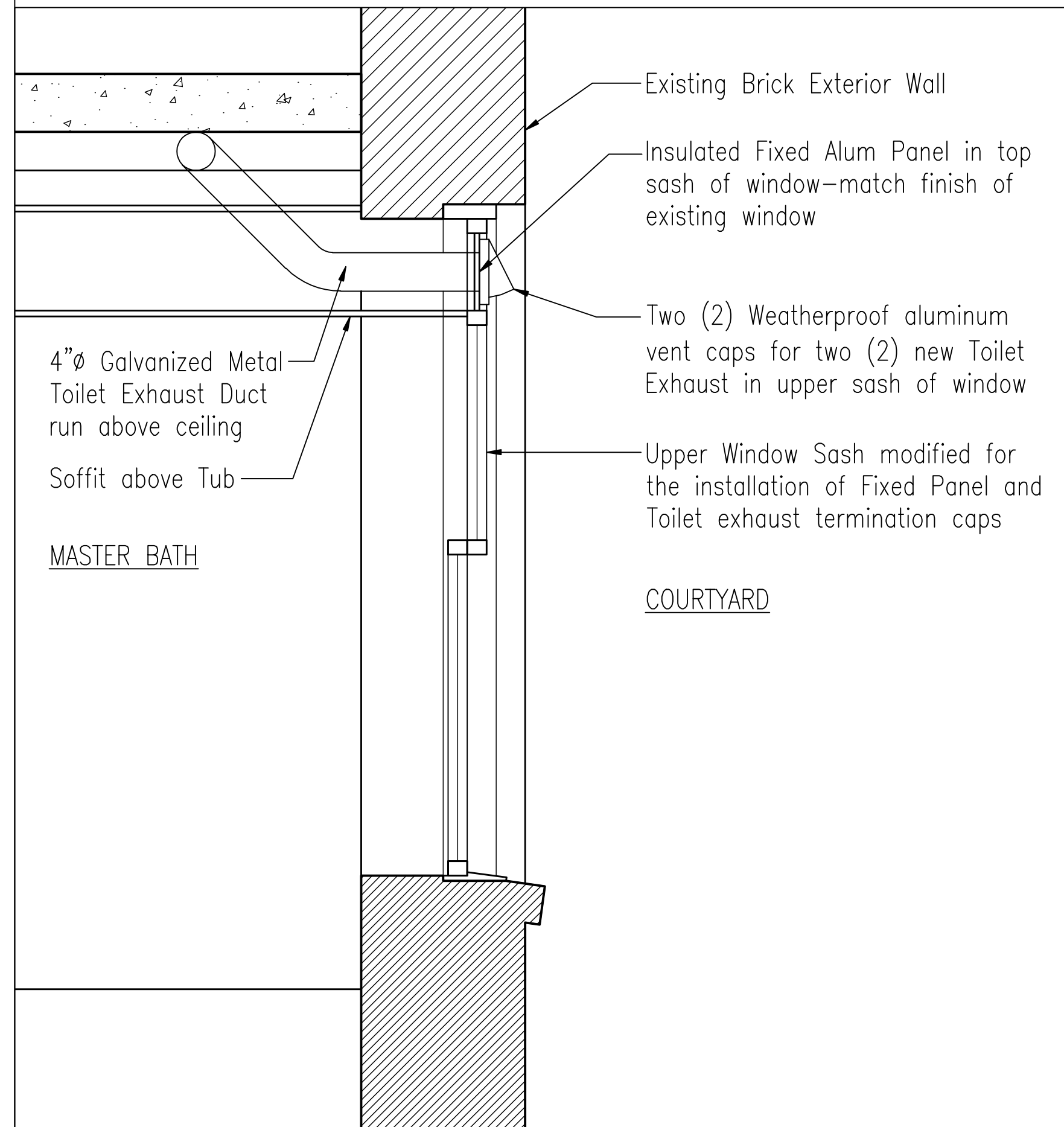
1 Laundry Pan Detail
SCALE: 3/4" = 1'-0"

CLIENT
ADRIAN TING
317 W 93RD ST.
3RD FLOOR, APT.3A
NEW YORK, NY 10025
Contact: ADRIAN TING
Tel: —

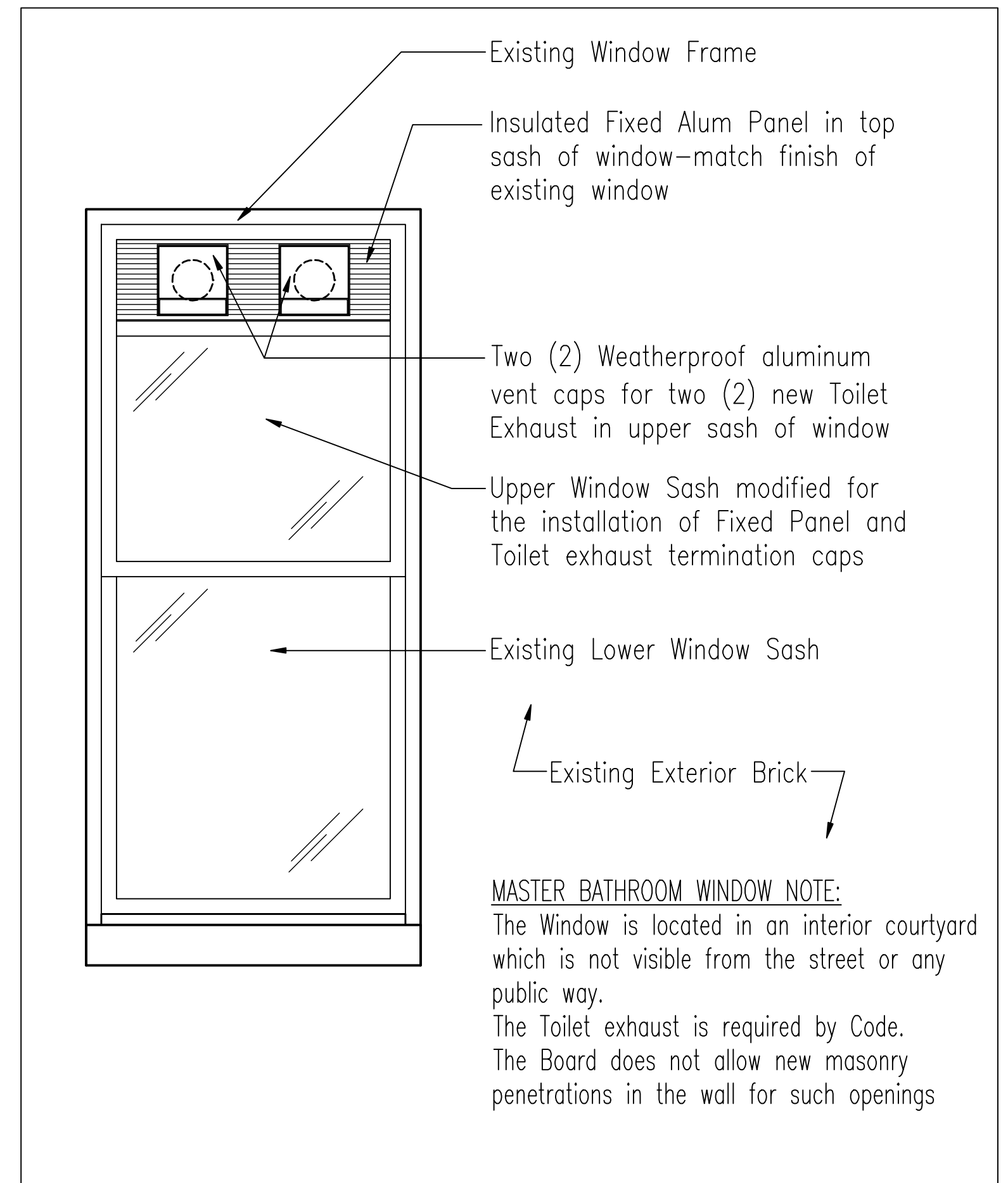
STRUCTURAL ENGINEER:
—
Tel: —

CODE/ZONING CONSULTANT:
—
Tel: —

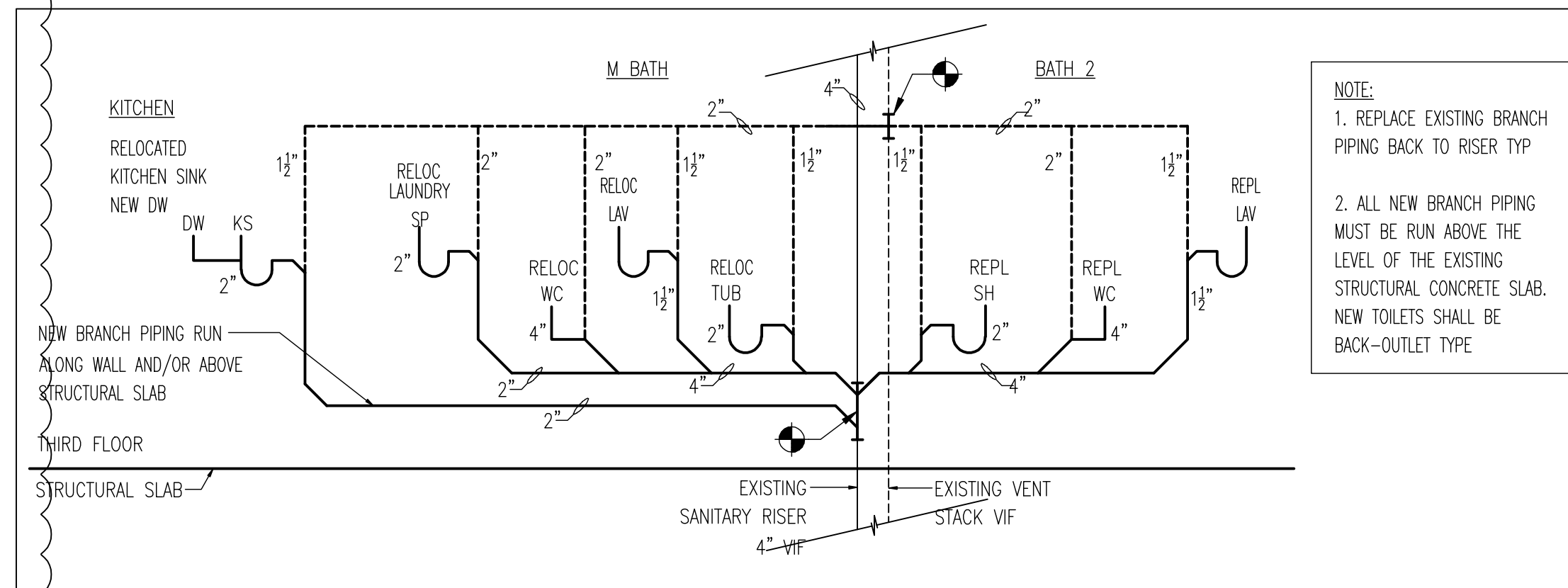
ARCHITECT OF RECORD
Anzalone Architecture PLLC
332 Douglass Street, Suite #2F
Brooklyn, NY 11217
Tel: 347-220-1173
Fax: 347-214-0124
E-mail: james@jamesanzalone.com
www.jamesanzalone.com
James Ian Anzalone, AIA
NYS RA Lic # 026010



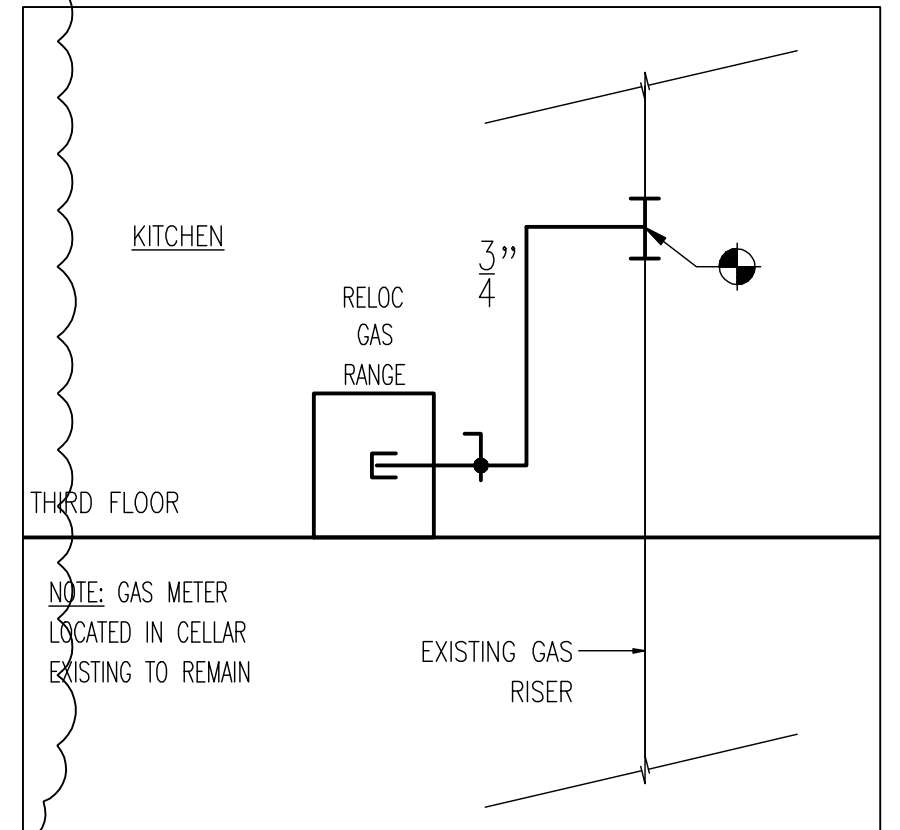
6 Master Bath Window Section
SCALE: 1" = 1'-0"



5 Master Bath Window Elevation
SCALE: 1" = 1'-0"



3 Plumbing Sanitary Riser
SCALE: 1/4" = 1'-0"



4 Plumbing Gas Riser
SCALE: 1/4" = 1'-0"

SEAL

Rev	Date	Description

Revisions

4.20.10	Bldg Architect Comments
---------	-------------------------

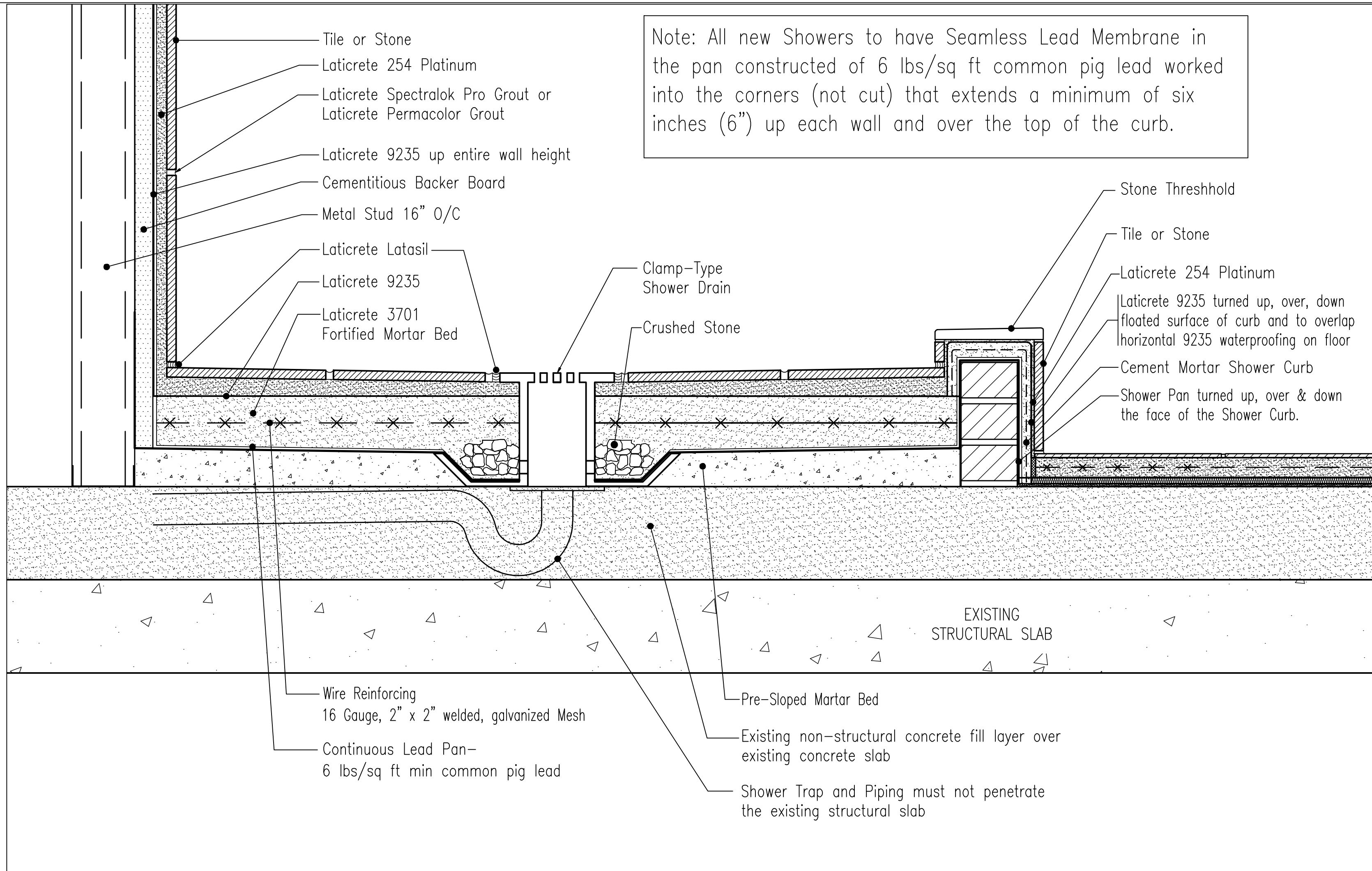
ACAD File Name:
A-007.00 Details.dwg

PROJECT TITLE:
APARTMENT RENOVATION
317 W 93RD ST.
3RD FLOOR, APT.3A
NEW YORK, NY 10025

Proj #: JA2009TING1
Drawn By: DS
Checked By:
Date: 2/18/2010
Issued For:

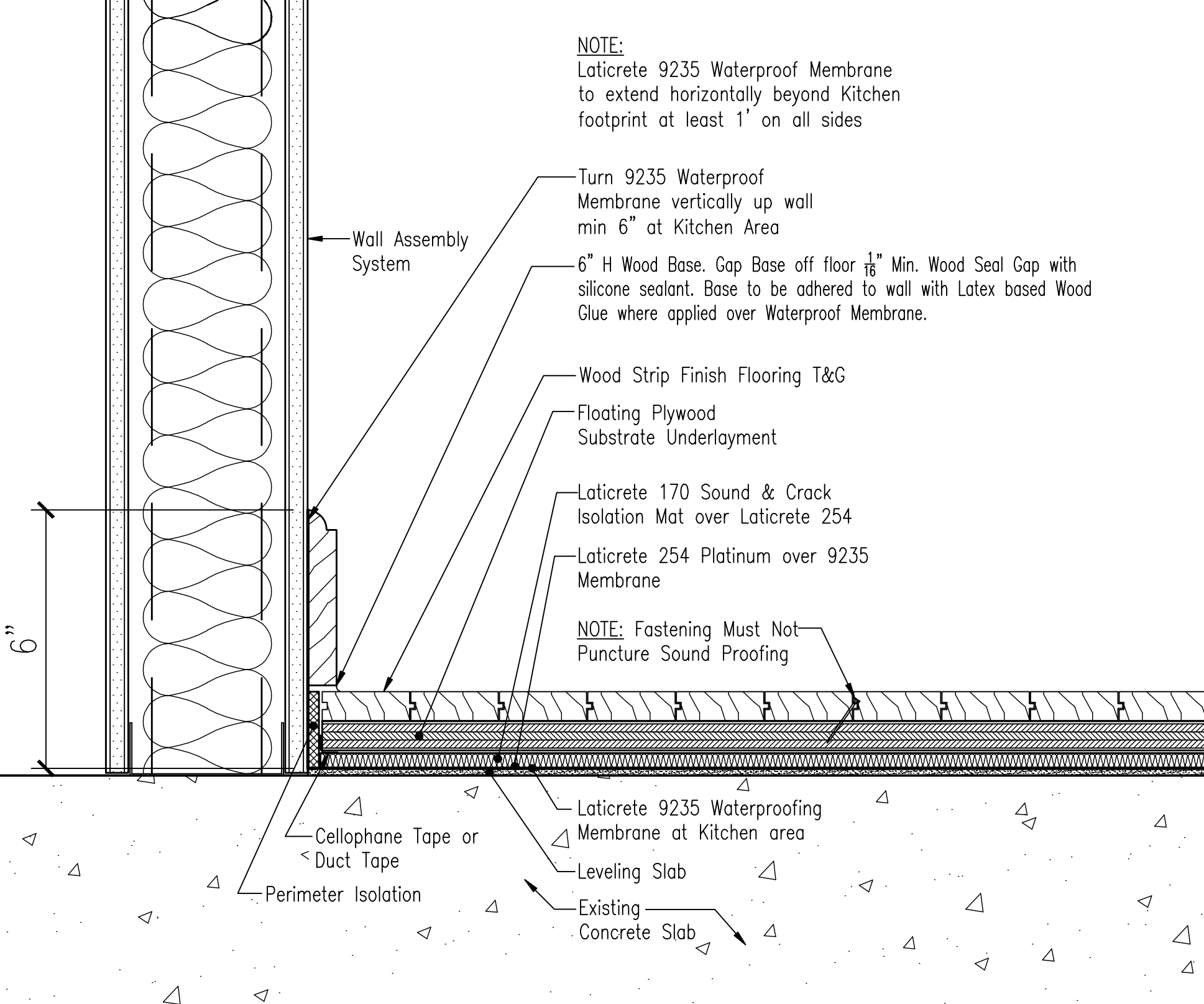
Department of Buildings Approvals:

DRAWING TITLE:
DETAILS
Drawing Number:
A-007.00

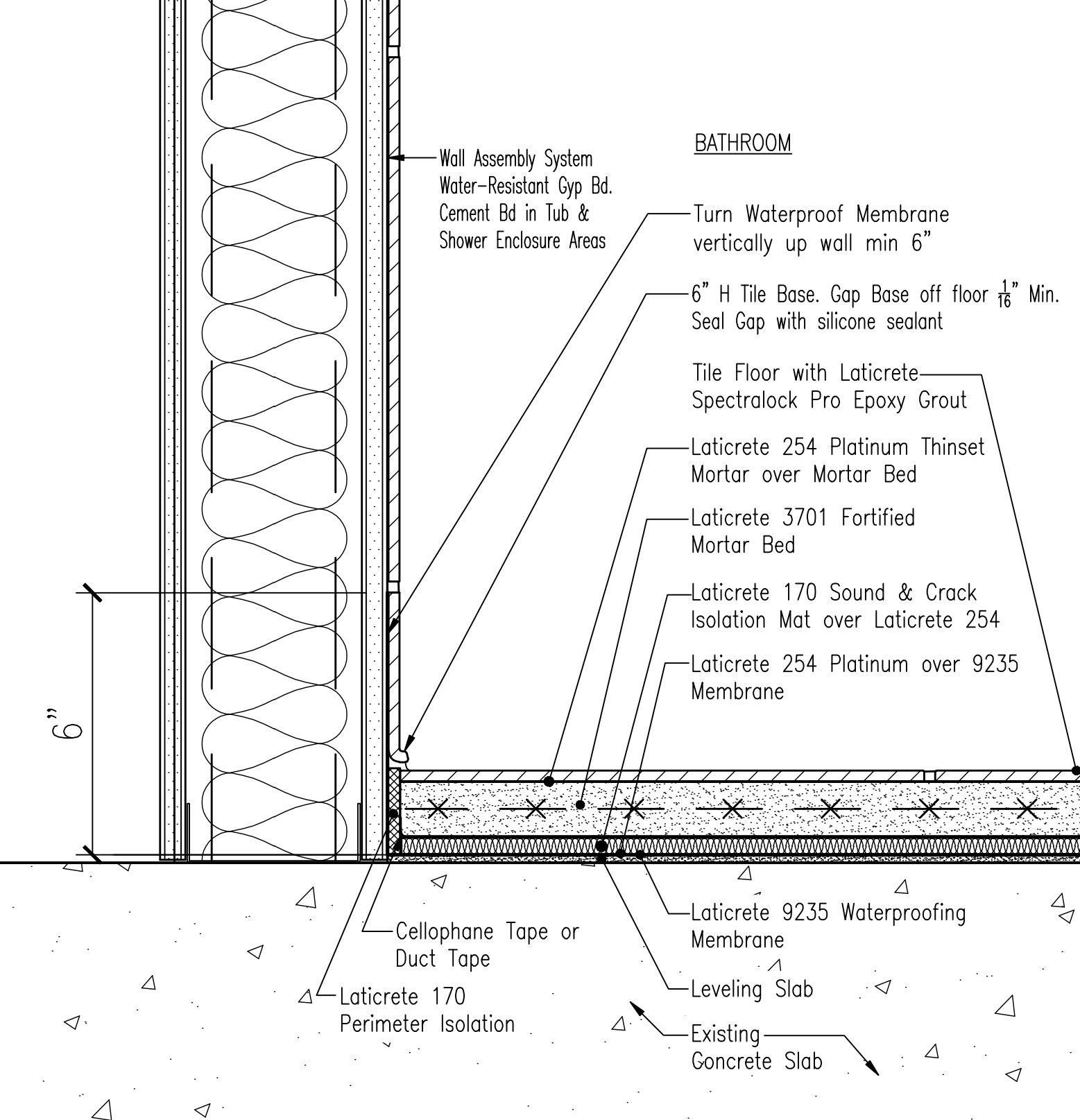


Note: All new Showers to have Seamless Lead Membrane in the pan constructed of 6 lbs/sq ft common pig lead worked into the corners (not cut) that extends a minimum of six inches (6") up each wall and over the top of the curb.

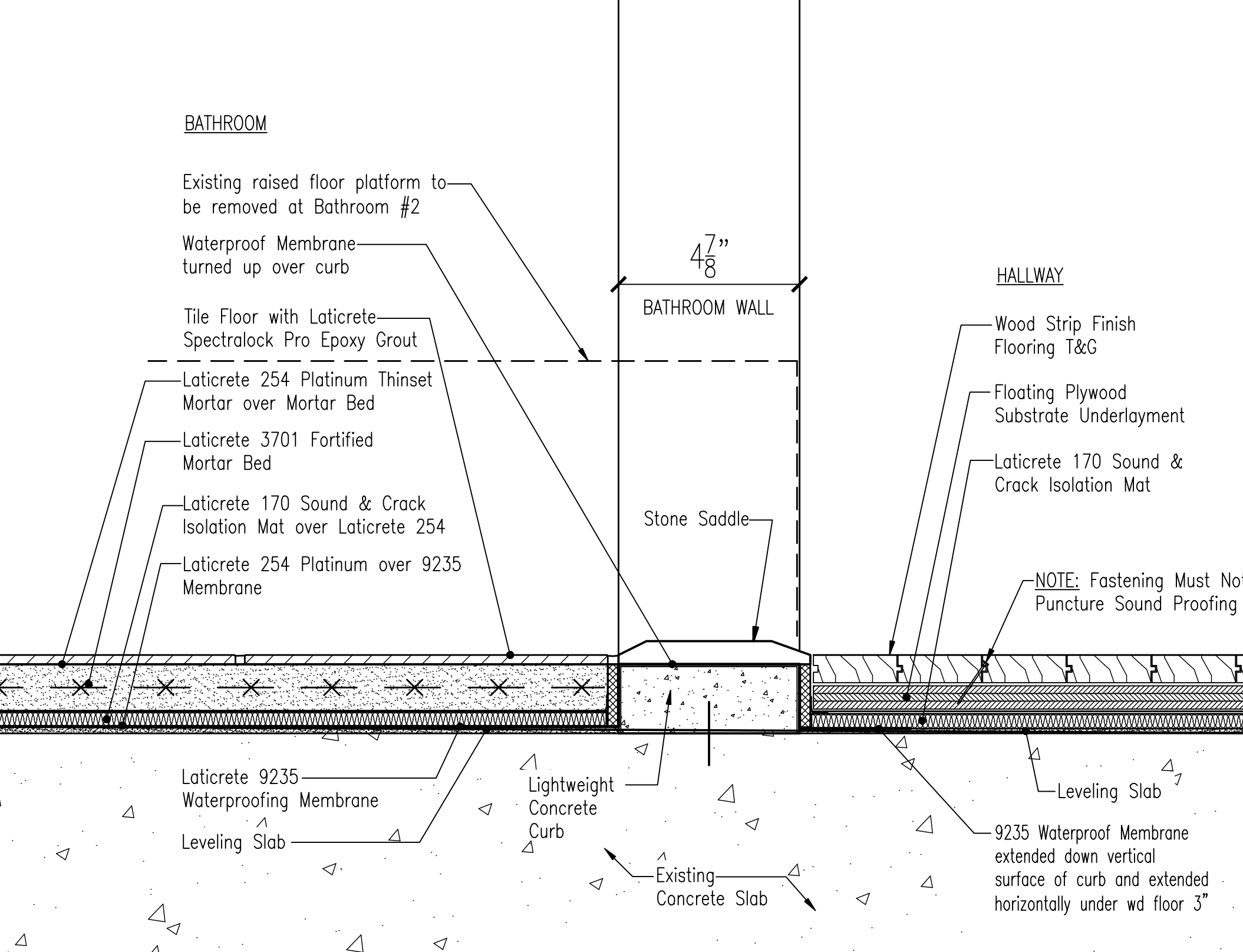
1 Detail-Shower Pan
SCALE: 2 93/256" = 1'-0"



4 Detail-Wood Finish Floor
SCALE: 3 231/256" = 1'-0"



3 Detail-Bathroom Floor
SCALE: 3 239/256" = 1'-0"



2 Detail-Bathroom Floor Transition
SCALE: 3 239/256" = 1'-0"

CLIENT
ADRIAN TING
317 W 93RD ST.
3RD FLOOR, APT.3A
NEW YORK, NY 10025
Contact: ADRIAN TING
Tel: —

STRUCTURAL ENGINEER:
—
Tel: —
CODE/ZONING CONSULTANT:
—
Tel: —

ARCHITECT OF RECORD
Anzalone Architecture PLLC
332 Douglass Street, Suite #2F
Brooklyn, NY 11217
Tel: 347-220-1173
Fax: 347-214-0124
E-mail: james@jamesanzalone.com
www.jamesanzalone.com
James Ian Anzalone, AIA
NYS RA Lic # 026010

SEAL

Rev	Date	Description
4.20.2010	4.20.2010	Sheet Added. Bldg Arch Comments

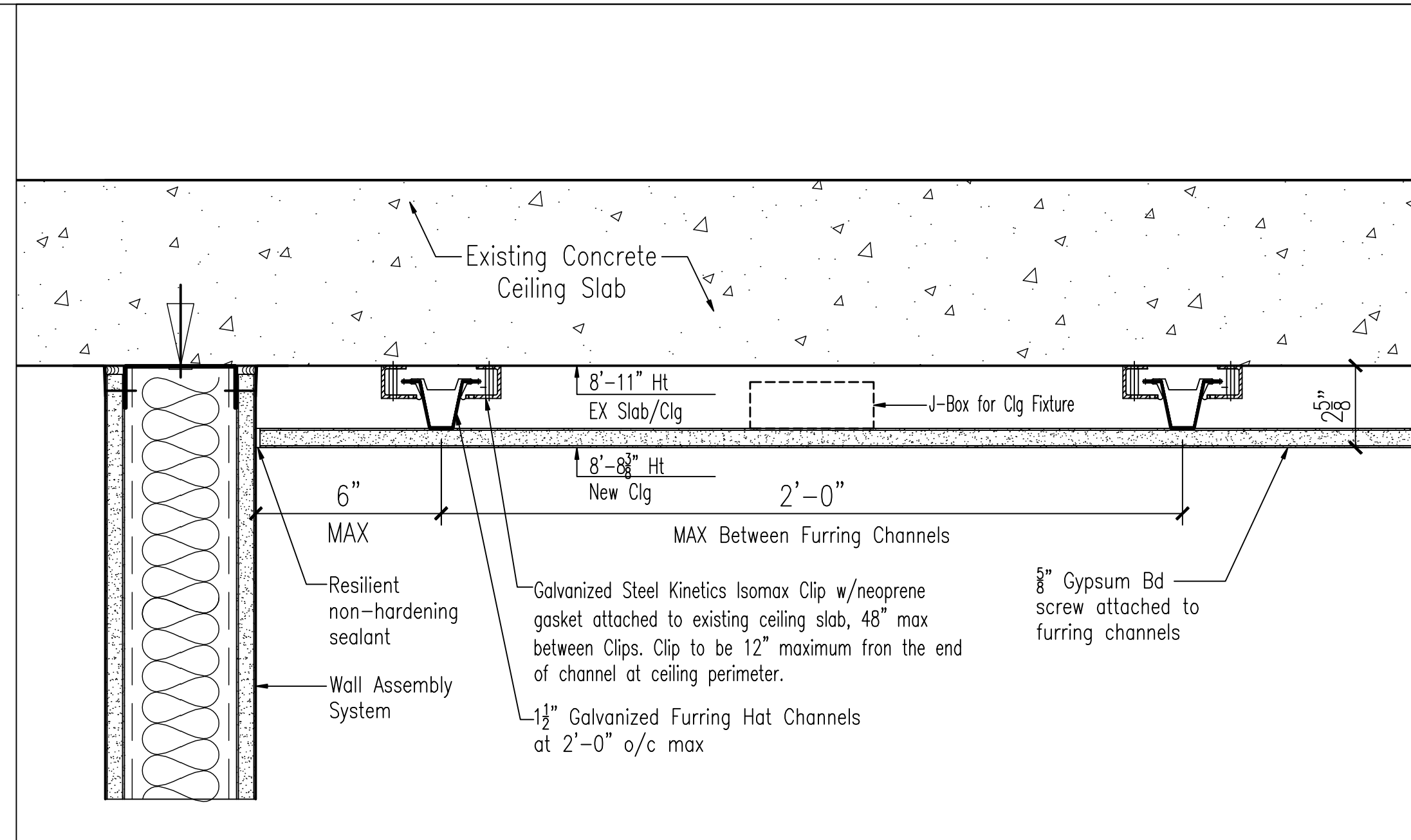
Revisions
ACAD File Name: A-008.00 Details.dwg

PROJECT TITLE:
APARTMENT RENOVATION
317 W 93RD ST.
3RD FLOOR, APT.3A
NEW YORK, NY 10025

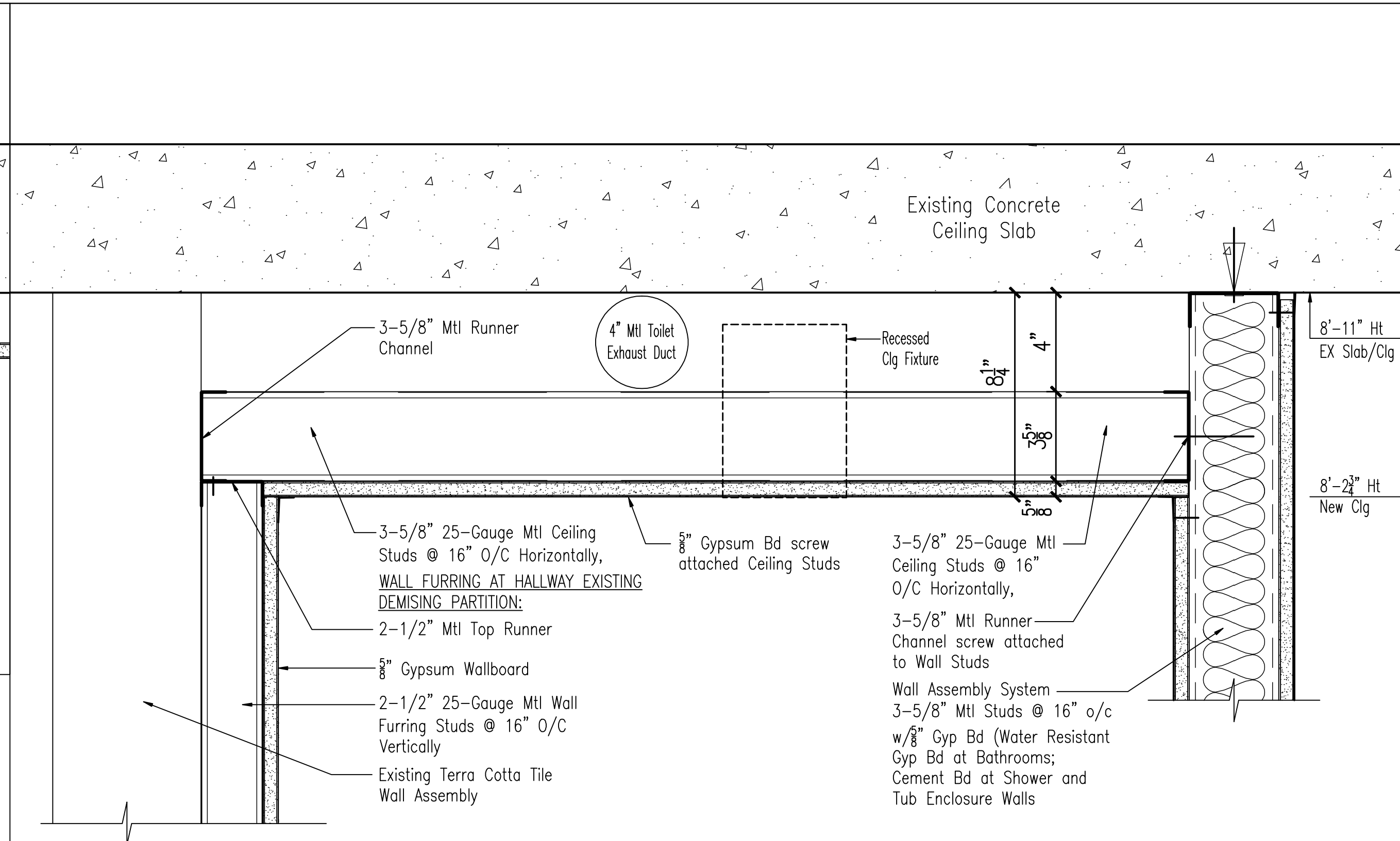
Proj #: JA2009TING1
Drawn By: DS
Checked By:
Date: 4/18/2010
Issued For:

DRAWING TITLE:
DETAILS
Drawing Number:

A-008.00



2 Detail-Furred Ceiling-Low Clearance
SCALE: 3" = 1'-0"



1 Detail-Dropped Ceiling
SCALE: 3" = 1'-0"

CLIENT
ADRIAN TING
317 W 93RD ST.
3RD FLOOR, APT.3A
NEW YORK, NY 10025
Contact: ADRIAN TING
Tel: —

Tel: —
STRUCTURAL ENGINEER:
Tel: —
CODE/ZONING CONSULTANT:
Tel: —

ARCHITECT OF RECORD
Anzalone Architecture PLLC
332 Douglass Street, Suite #2F
Brooklyn, NY 11217
Tel: 347-220-1173
Fax: 347-214-0124
E-mail: james@jamesanzalone.com
www.jamesanzalone.com

James Ian Anzalone, AIA
NYS RA Lic # 026010

SEAL

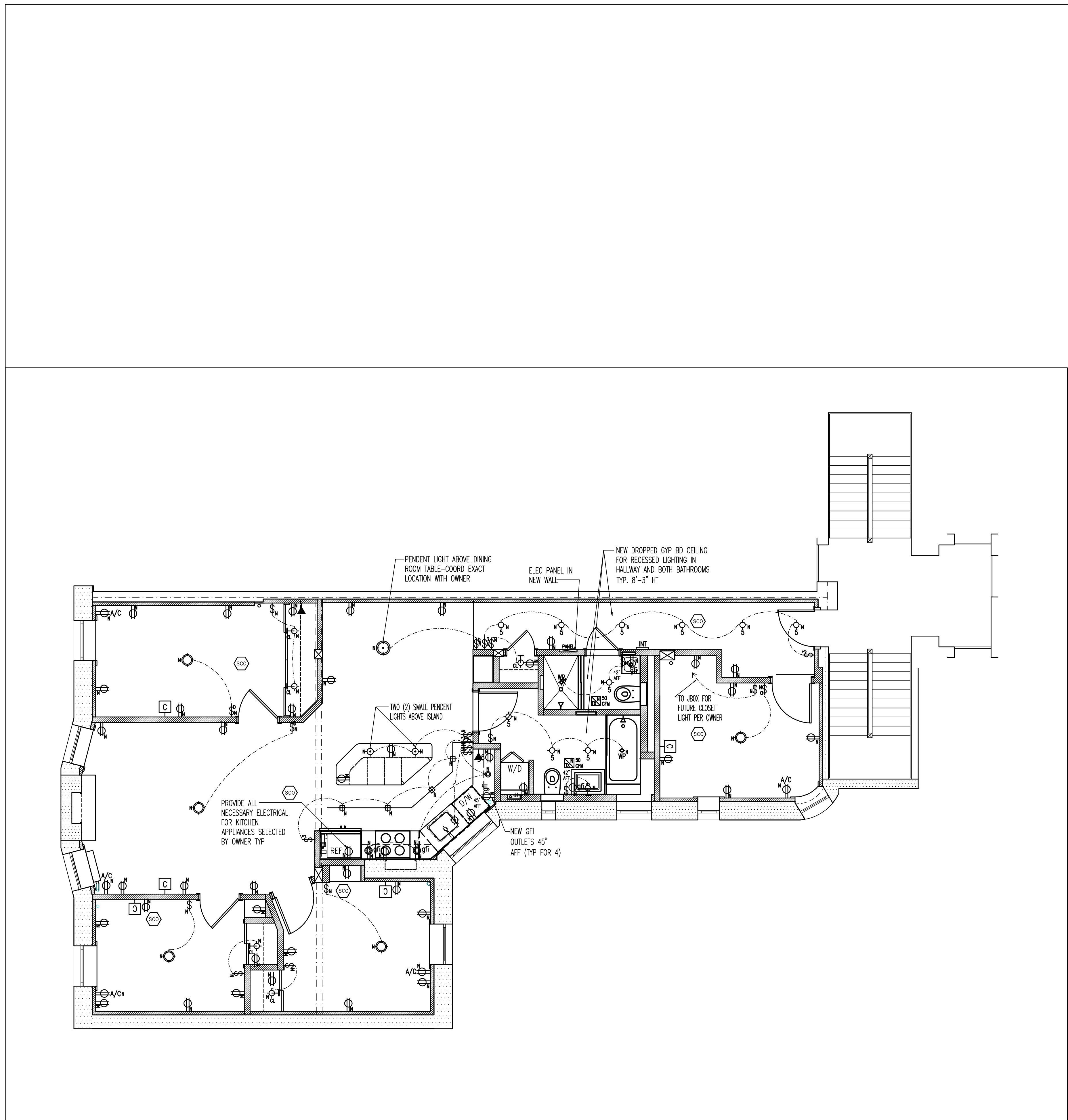
Rev	Date	Description
Revisions		

LEGAL NOTES:
1 THESE CONSTRUCTION DOCUMENTS—PLANS, SPECIFICATIONS, ADDENDA, CLARIFICATIONS AND THE LIKE, MAY ONLY BE USED WITH THE WRITTEN AUTHORIZATION OF THE ARCHITECT OF RECORD
2 UNAUTHORIZED USE AND/OR ALTERATION, BY ANY PERSON, IN ANY WAY, OF ANY ITEM CONTAINED ON OR IN THESE CONSTRUCTION DOCUMENTS—PLANS, SPECIFICATION ADDENDA, CLARIFICATIONS AND THE LIKE UNLESS ACTING UNDER THE SPECIFIC WRITTEN DIRECTION OF THE LICENSED PERSON(S) WHOSE PROFESSIONAL SEAL(S) ARE AFFIXED HERETO, IS PROHIBITED HERETO AND A VIOLATION OF TITLE VIII SECTION 69.5 (b) OF NEW YORK STATE LAW.
3 ALL IDEAS, DESIGNS, ARRANGEMENTS, PLANS AND SPECIFICATIONS, ADDENDA, CLARIFICATION, AND THE LIKE, INDICATED AND/OR REPRESENTED BY THESE CONSTRUCTION DOCUMENTS, ARE OWNED EXCLUSIVELY BY THE ARCHITECT OF RECORD.
4 THESE WERE CREATED, AND DEVELOPED FOR THE EXCLUSIVE AND SPECIFIC USE ON, AND IN CONNECTION WITH, THIS PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS, PLANS AND SPECIFICATION, ADDENDA, AND THE LIKE, AND SIMILAR RELATED DOCUMENTS, SHALL BE USED AND/OR REPRODUCED FOR ANY OTHER PURPOSE WHATSOEVER, WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE ARCHITECT OF RECORD.

ACAD File Name:
A-009.00 Details.dwg
PROJECT TITLE:
APARTMENT RENOVATION
317 W 93RD ST.
3RD FLOOR, APT.3A
NEW YORK, NY 10025
Proj #: JA2009TING1
Drawn By: DS
Checked By:
Date: 4/26/2010
Issed For:

Department of Buildings Approvals:

DRAWING TITLE:
DETAILS
Drawing Number:
A-009.00



1 3rd FI Electrical Plan

SCALE: 1/4" = 1'-0"

Electrical Legend

	Existing Device to be Removed or Relocated (shown dashed typ)
N	New Device
R	Relocated Device
	Approved Type Combination Smoke Carbon Monoxide Detector
	Duplex Outlet
	Duplex Ground Fault Interrupter Outlet-Wet Areas
	A/C Outlet
	Telephone Jack
	Data Jack
	Single Pole Switch
	Three Pole Switch
	Dimmer Switch
	Jamb Switch
	Thermostat
	Cable Jack
	Electrical Panel
	Intercom
	Recessed Waterproof Shower Downlight
	5" Recessed Downlight Remodeler
	Wall Sconce
	Surface Mounted Light Fixture
	Large Pendant Light Fixture
	Small Pendant Light Fixture
	Toilet Exhaust Fan 50 CFM
	Approved, Listed type Closet Light
	Undercabinet Light
	Track Light w/recessed track

CLIENT

ADRIAN TING
 317 W 93RD ST.
 3RD FLOOR, APT.3A
 NEW YORK, NY 10025
 Contact: ADRIAN TING
 Tel: —

STRUCTURAL ENGINEER:

CODE/ZONING CONSULTANT:

ARCHITECT OF RECORD

Anzalone Architecture PLLC

332 Douglass Street, Suite #2F
 Brooklyn, NY 11217
 Tel: 347-220-1173
 Fax: 347-214-0124
 E-mail: james@jamesanzalone.com
 www.jamesanzalone.com
 James Ian Anzalone, AIA
 NYS RA Lic # 026010

SEAL

NOTE:

- All electrical work must be performed by a licensed electrician who shall secure all approvals from the BEC and who shall also submit a copy of their license.
- A letter from an electrician stating that the current electrical service is adequate to support the apartment after the alteration is required.
- The relocation of outlets, if located within demising walls or in walls around chases may not include channeling of the underlying structural/fire rated materials. All new wiring may only be concealed within the depth of the existing plaster. Provide furring out of the wall and ceilings as may be required.
- In the Bathrooms and Kitchen the outlets shall be GFI type receptacles in accordance with Electrical Code requirements.
- No channeling of Structural Slabs is permitted for new lighting or wiring.

Rev	Date	Description
4.20.10	Bldg Architect Comments	

Revisions

ACAD File Name:
 E-001.00 Electrical Plan.dwg

PROJECT TITLE:

APARTMENT RENOVATION

317 W 93RD ST.
 3RD FLOOR, APT.3A
 NEW YORK, NY 10025

Proj #:	JA2009TING1
Drawn By:	DS
Checked By:	
Date:	2/18/2010
Issed For:	

DRAWING TITLE:

3RD FLOOR ELECTRICAL PLAN

Drawing Number:

E-001.00