

V Yard Regulations

ZR 23-45	Minimum Required Front Yard (ft)	0
	Provided Front Yard (ft)	5'-6"
ZR 23-46	Minimum Required Side Yard (ft)	0
	Provided Side Yard (ft)	0
ZR 23-47	Minimum Required Rear Yard (ft)	30
	Provided Rear Yard (ft)	44'-6"

VI Height and Setback Regulations

23-633(a)	Street Wall Location:	Existing Street Wall Aligns w/Adjacent Existing Buildings on both sides.
	Street Width (ft)	60'-0"
	Street Classification	Narrow Street
	Base Plane Calculation, see below	
	Lot Elevation, NW Corner of Front Lot Line	51.26'
	Lot Elevation, NE Corner of Front Lot Line	51.72'
	Base Plane Elevation: Avg Lot Elevation at Front Lot Line: (51.26+51.72)/2	51.49'
	All Heights are measured from the Base Plane	
23-633 Table	Minimum Base Height (ft)	30
	Maximum Base Height (ft)	45
	Proposed Base Height (ft)-Existing Building	43'-9"
	Maximum Building Height (ft)	55
	Proposed Building Height (ft)	54'-10"
23-692	Height Limitations for Narrow Buildings or Enlargements Applicable? (Y/N)	N
23-633(b)	Setback regulations (Narrow Street) Depth of Setback Required above the Base Height measured from Street Wall Line	15'
	Proposed Depth of Setback above Base Height (ft)	20'-10"
23-663	Required Rear Setback: No portion of a building exceeding the maximum base height shall be nearer than 10' to the required 30' Rear Yard Line.	Complies-See Ht & Setback Diagram

VII Parking Regulations

	Minimum required Accessory Off-Street Parking Spaces for Residential Uses where Group Parking Facilities are provided.	
25-23	Minimum Percentage of Dwelling Units for which Parking is required	50
	Proposed Number of Dwelling Units	2
	Minimum Total # of Parking Spaces, based on proposed # of Dwelling Units	1.00
25-261	Waiver of Requirements for Small Number of Spaces, for New Developments or Enlargements:	5 Waived, 1 Required=No Parking Spaces req'd

VIII Quality Housing Program

ZR 28-12	Street Tree Planting	
	Street Trees Required?	No
	Increase of Residential Floor Area 20% or more?	10% increase proposed.
	Number of Street Trees Required	0
	Number of Street Trees Provided	1

28-21	Minimum Size of Dwelling Units (sq ft)	400
	Proposed Size of Smallest Dwelling Unit (sq ft)	2500
28-22	Windows: All Windows in Residential Portion of Building Enlargement Shall be Double-Glazed	Provided
28-23	Refuse Storage and Disposal: Provide at the rate of 2.9 cu ft per Dwelling Unit. A Refuse Disposal Room of not less than 12 sq ft with no dimension less than 3' shall be provided on each story that has entrances to Dwelling Units. 12 sq ft may be deducted.	Not Required for 2 DU<9DU
28-24	Laundry Facilities Provided? (not required but may be deducted)	Laundry Provided but not meeting OH; no Deduction taken
28-25	Daylight in Corridors Provided? (not required but may be deducted)	No
28-31	Minimum Recreation Space to be provided, as a percentage of the Total Residential Floor Area:	3.30
	Minimum Required Recreation Space Area (sq ft)	Not Required for 2 DU<9DU
28-33	Planting Areas: The Area of the Zoning Lot between the Street Line and the Street Wall shall be planted (Front Yard), except at the Entrance & Exit from the Building	Front Yard Planted

Zoning Analysis

I. Basic Information

ZR Section	Item	Data
	Project Type	Renovation & Building Addition
	Air Rights of Adjacent Parcels Considered	No
	House Number	192
	Street Name	President St
	AKA's	none
	Landmark	No
	Block	350
	Lot	12
	Community Board Number	306
	Zoning Map	16C
	Zoning District	R6-Residence
	Special District	none
	Commercial Overlay	none
	Nearest Cross Street	Henry Street
	Distance from Corner (ft)	142
	Lot Type	Interior
	Lot Width (ft)	25
	Lot Depth (ft)	100
	Zoning Lot Area (sq ft)	2500 SF
	Street Frontage (ft)	25
	Proposed Use:	UG2 Residential
23-10	Use Permitted As-of-Right?	Yes
23-011	Quality Housing Program Required?	No
23-011(c)	Quality Housing Program Proposed?	Yes
	Lot is Within Manhattan Core?	No
	Lot is Within 100' of a Wide Street?	No
23-03	Street Tree Requirements: Street Tree not required for an enlargement less than 20%	Street Tree Not Required. Proposed Enlargement is 10%. One (1) existing Street Tree is provided.

II Floor Area Ratio & Lot Coverage

23-145	Maximum Residential FAR (Quality Housing)	2.20
	Maximum Zoning Floor Area (sq ft)	5500.00
	Lot Area 2500 SF * 2.2 Max FAR	
	Proposed FAR	2.20
	Proposed Number of Stories	4+PH
	Proposed Zoning Floor Area (sq ft)-See Below	
	Ex Cellar	0
	Ex Basement	1250.00
	Ex First Fl	1250.00
	Ex Second Fl	1250.00
	Ex Third Fl	1250.00
	Proposed Penthouse	500.00
	Roof	0

III Density Regulations

12-10	Proposed Mechanical Deductions:	None
ZR 23-145	Maximum Lot Coverage (%) for Interior Lot	60
	Maximum Lot Coverage (sq ft) (2500 SF Lot Area * 60%)	1500.00
	Proposed Lot Coverage (%) (1250 SF Footprint/2500 SF Lot Area)	50%
	Proposed Lot Coverage (sq ft)	1250.00

IV Lot Area and Lot Width

ZR 23-22	Factor for Determining the Maximum Number of Dwelling Units	680
	Maximum Number of Dwelling Units, based on the Maximum Residential Zoning Floor Area: 5500 SF Max Res ZFA / 680	8.09
	Proposed Number of Dwelling Units:	2
ZR 23-32	Required Minimum Lot Area (sq Ft)	1700
	Provided Lot Area	2500.00
	Required Minimum Lot Width (ft)	18
	Provided Lot Width (ft)	25

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Rev	Date	Description

Revisions
ACAD File Name:
Z1 Zoning.dwg

PROJECT TITLE:
RENOVATION & ADDITION
FLOORS BAS, CEL, 1, 2, 3, PH, ROOF
192 PRESIDENT STREET
BROOKLYN, NY 11231
Project Number: JA2008SPDV1
Drawn By: DS
Checked By:
Date: 11/3/2008
Issued For:

DRAWING TITLE:
ZONING

SEAL: Drawing Number:

Z1

Table 3-4 Construction Classifications			
Construction Class of Building:	<p><u>Existing Building:</u> Old Code Class 3 NFP (II-B equivalent)</p> <p><u>Penthouse Addition:</u> Class I-D Non-Combustible</p> <p>Ratings below are for Penthouse elements All others are Existing to Remain</p>		
Construction Element:	Req'd Rating in Hrs:	Prop Rating in Hrs:	Comments
Exterior Walls w/Separation of:			
3' or less, Bearing	2	2	PH Lot Line Walls
30' or more, Non-bearing	0	0	PH End Walls
Enclosure of Vertical Exits, Exit Passageways, Hoistways, and Shafts	2	2	For New PL and Mechanical Shafts
Columns, Girders, Trusses (other than Roof Trusses)			
Supporting one floor	1	1	PH Support Columns
Structural Members supporting a Wall	Same as Wall Supported	0	PH Support Members
Floor Construction incl Beams:	1	1	
Roof Construction			
15' or less in ht above floor:	1	1	

Table 4-1 Area and Height Limitations for Unsprinklered Bldgs	
Occupancy Group of Building	J-3 Two-Family
Fully Sprinklered?	No (Not Required for 2-Family)
Project Located Within a Fire District?	Yes
Construction Classification:	<p><u>Existing Building:</u> Old Code Class 3 NFP (II-B equivalent)</p> <p><u>Penthouse Addition:</u> Class I-D Non-Combustible</p>
Permitted Within Fire District?	Yes
Max Gross Area Per Floor:	14,700 for Class II-B (most restrictive)
Proposed Gross Area per Floor (Sq Ft):	1,250 < 14,700 = Complies
Maximum Height (Ft):	75'-0"
Proposed Height (Ft)	54'-10" < 75'-0" = Complies
Maximum Height (Stories)	6
Proposed Height (Stories)	Cel, 4+Penthouse = Complies

Table 5-1 & 5-2 Fire Divisions & Separations		
<i>Note:</i> Fire Divisions and Fire Separations for new wall construction per New Code		
Occupancy Group of Building:	Fire Index of Building:	Notes:
Old Code Residential (J-2 Equivalent)	1	Provide 1-hr Fire Separation between Dwelling Unis per BC 27-341(a)

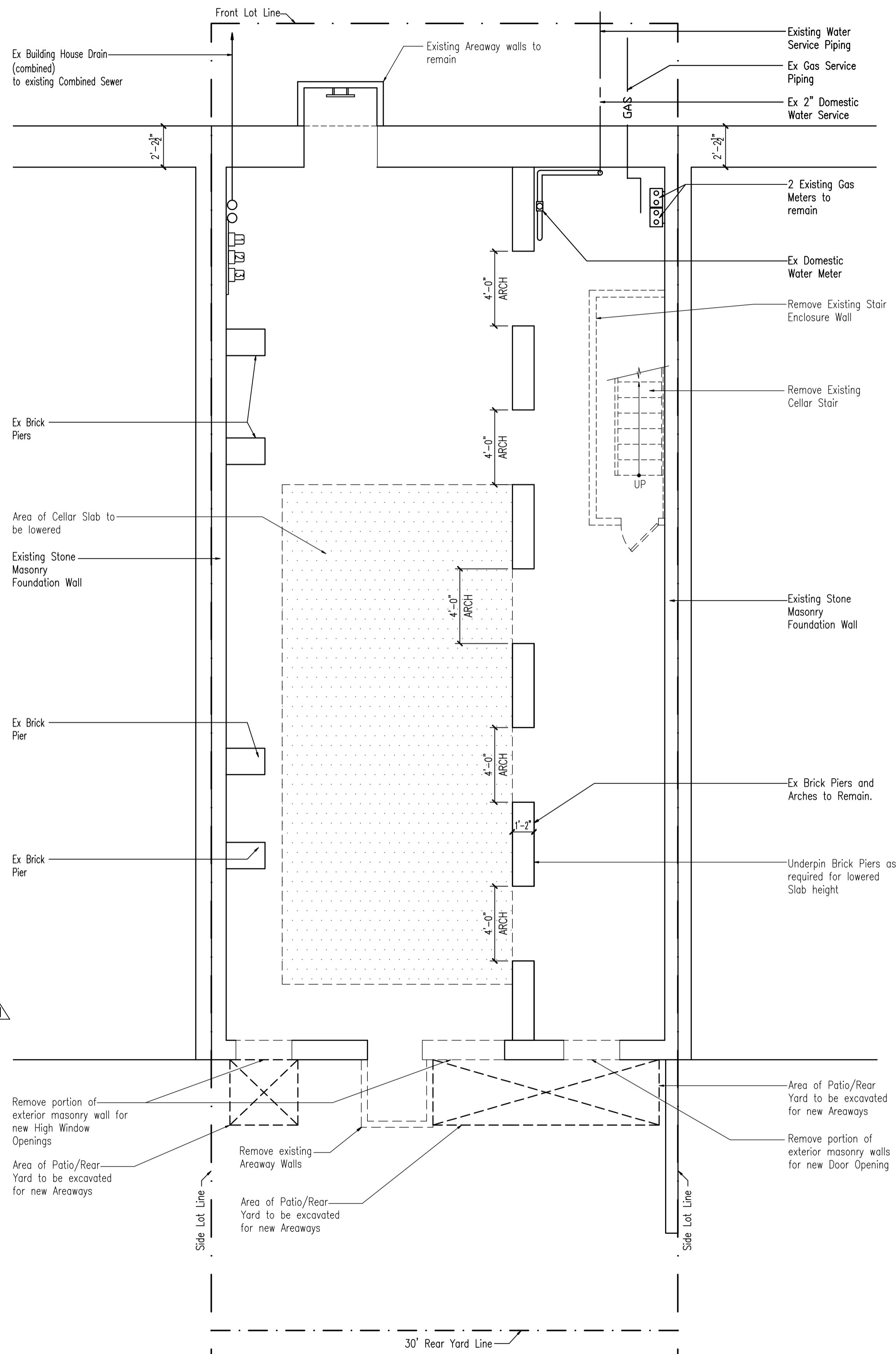
Table 6-1 Exit and Access Requirements	
Occupancy Group of Building	Residential J-3 equivalent (2-Family)
Occupant Load of Building	2 Dwelling Units = 8P
Primary Vertical Means of Egress	Interior Stairs
Secondary Vertical Means of Egress	Not required for 2-Family
Fully Sprinklered?	Existing Unsprinklered.
Maximum Travel Distance:	NR-No Requirement for J-3
Required Door Opening Capacity-To Outdoors at Grade:	NR-No Requirement for J-3
Required Door Opening Capacity-All Other Exit and Corridor Doors:	NR-No Requirement for J-3
Required Exit Stair and Escalator Capacity:	NR-No Requirement for J-3
Minimum Stair Width for J-3 per 27-375(b)(1):	36" Minimum Stair Width is provided throughout
Winder Stairs	Per BC 27-375(e)(3), Winder Stairs are permitted in two-family Dwellings. The width of winder treads when measured eighteen inches from the narrower end shall be at least equal to the width of treads above or below the winding section.

Stair Enclosure:
Per BC Section 27-375(i)(b), Stairs in buildings or spaces classified in occupancy group J-3 and not more than three stories in height, need not be enclosed.

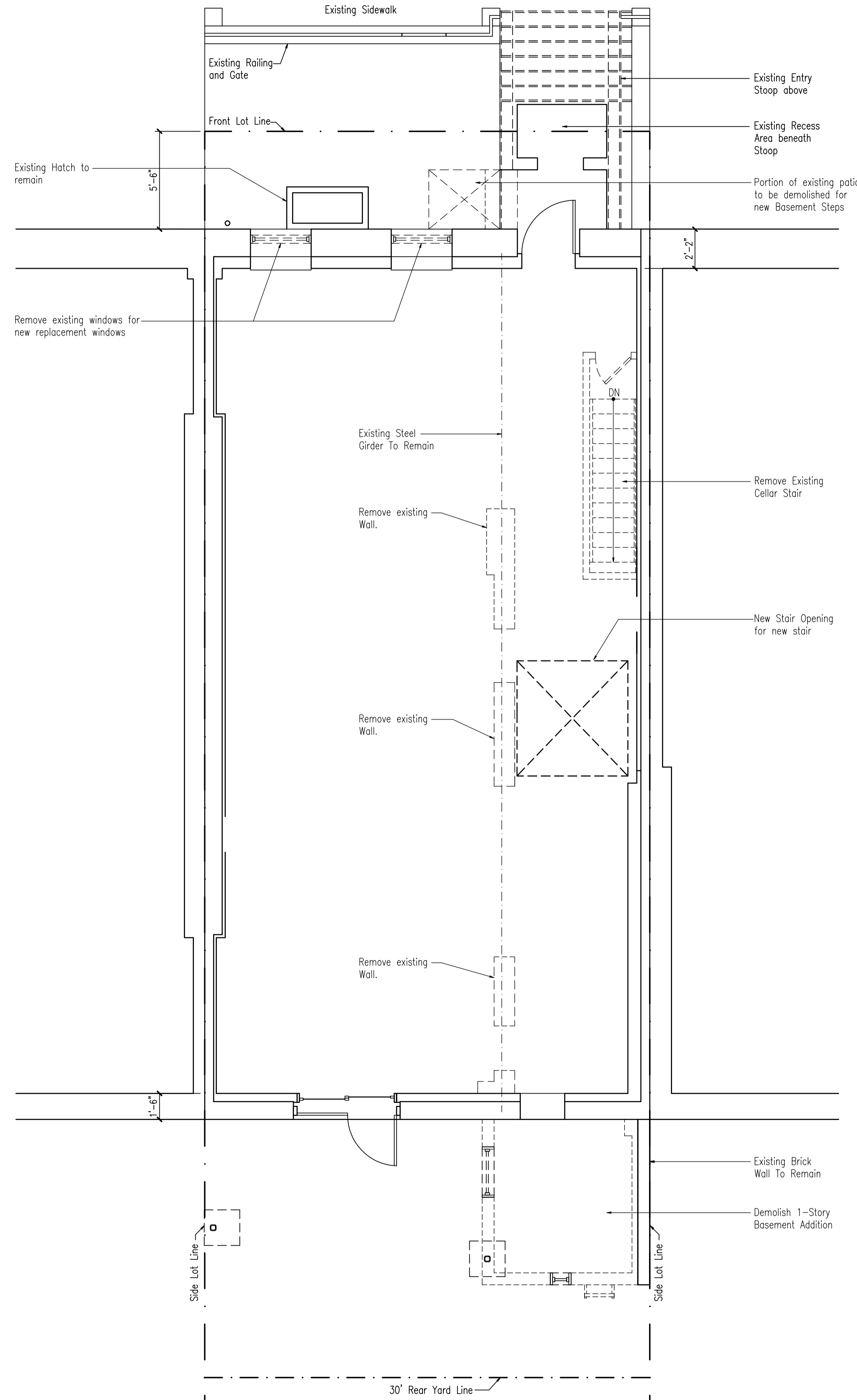
The Building is comprised of two (2) Triplex Units, each not more than 3 stories in height. Thus, a continuous Stair Enclosure within the Dwelling Units is not required.

The Upper Triplex Unit is accessed by a Stair which is separately enclosed in 1-hr Rated Construction.

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<p>Anzalone Architecture PLLC</p> <p>184 Eighth Avenue, Suite #4 Brooklyn, NY 11215 Tel: 347-220-1173 Fax: 347-214-0124 E-mail: james@jamesanzalone.com www.jamesanzalone.com</p> <p>James Ian Anzalone, AIA NYS RA Lic # 026010</p>		
Rev	Date	Description
Revisions		
ACAD File Name: C1 Code.dwg		
PROJECT TITLE: RENOVATION & ADDITION FLOORS BAS, CEL, 1, 2, 3, PH, ROOF 192 PRESIDENT STREET BROOKLYN, NY 11231		
Project Number:	JA2008SPDV1	
Drawn By:	DS	
Checked By:		
Date:	11/3/2008	
Issued For:		
DRAWING TITLE: CODE TABLES		
SEAL:	Drawing Number:	
	C1	



1 Cellar Demolition Plan
 SCALE: 1/4" = 1'-0"



2 Basement Demolition Plan
 SCALE: 1/4" = 1'-0"

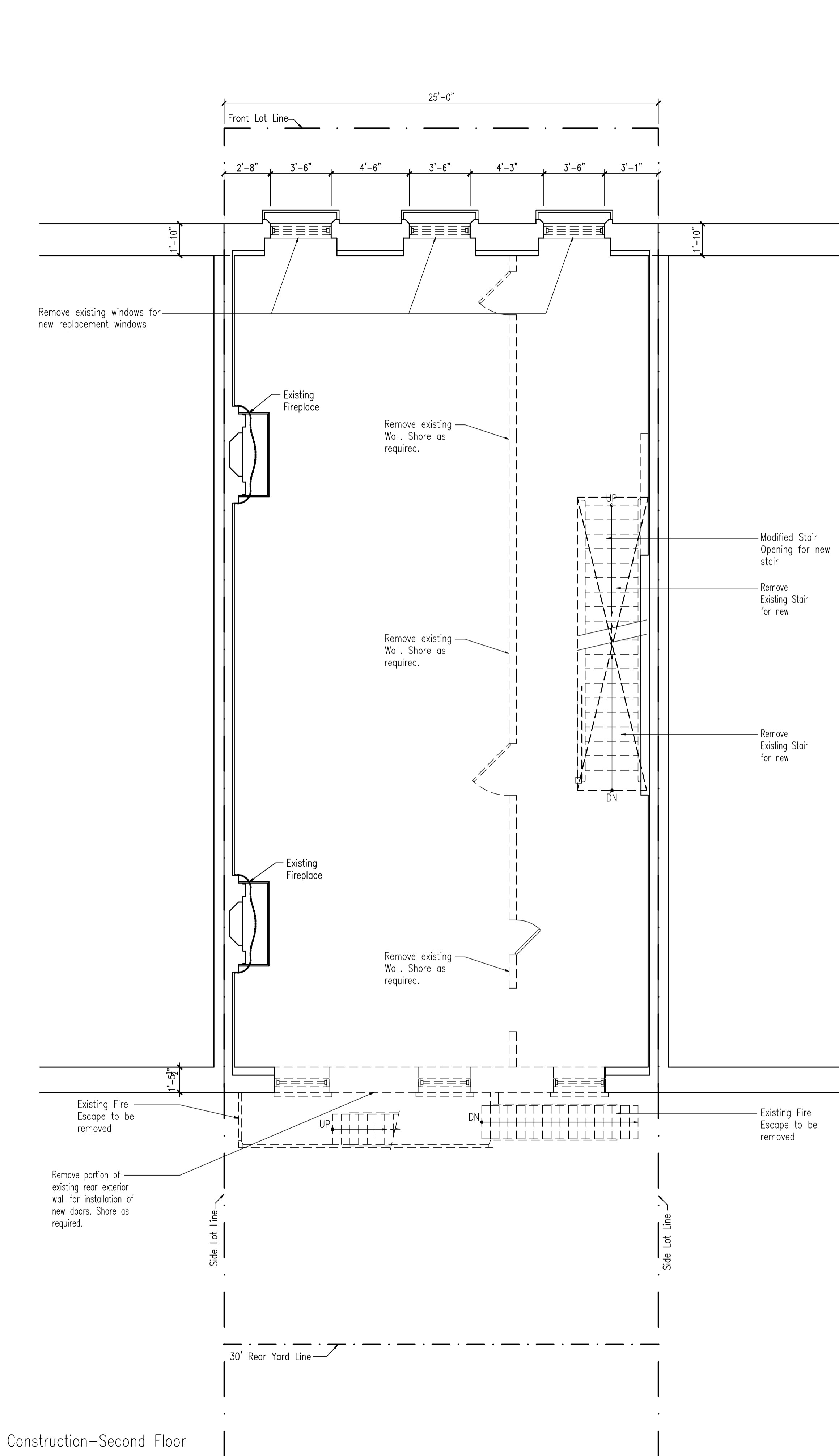
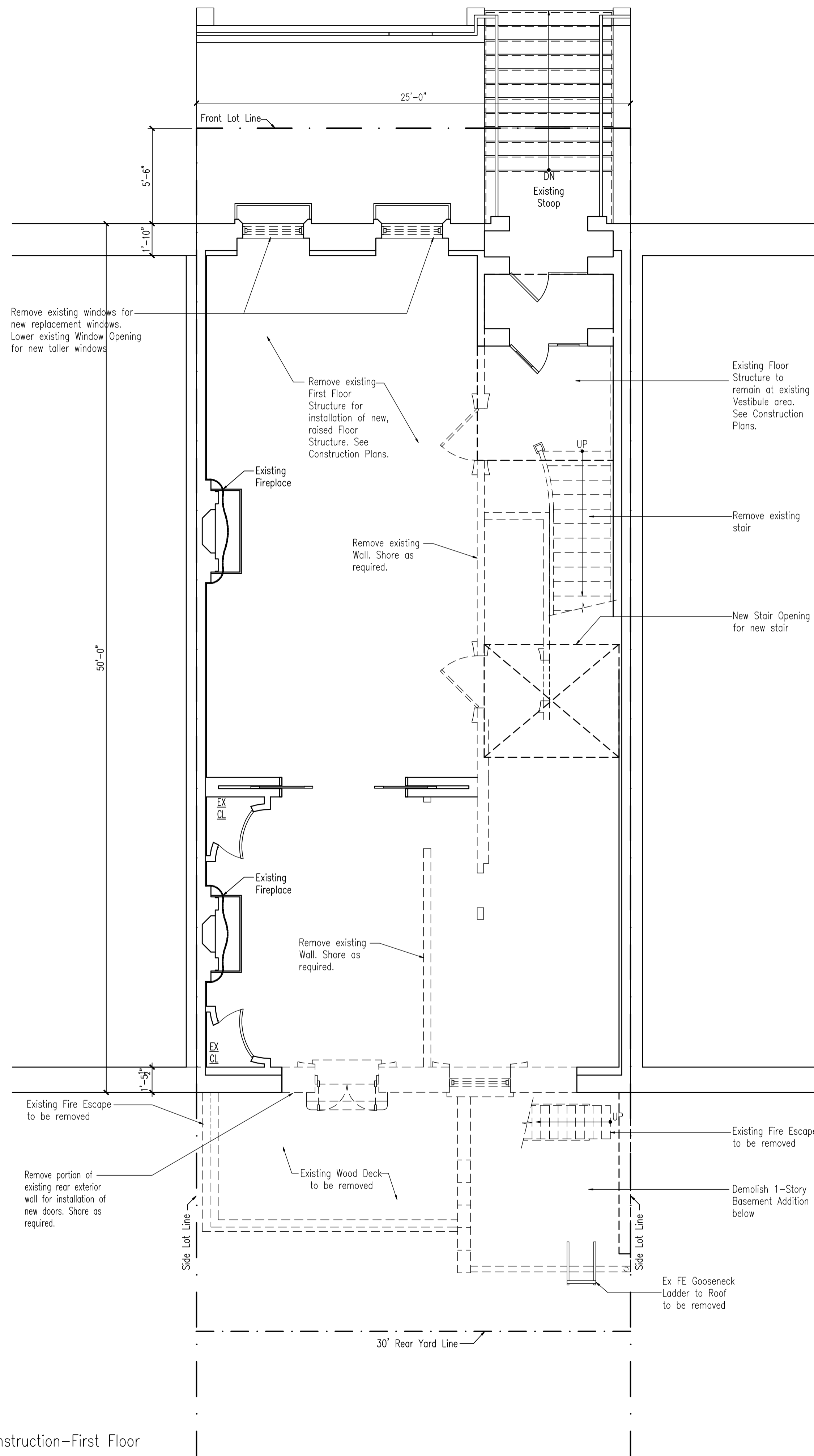
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Rev	Date	Description
▲	4.23.2009	Cellar Slab, Front Hatch

Revisions
 ACAD File Name:
 D1 Demolition Plans.dwg
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DEMOLITION PLANS
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D1

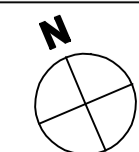


Construction-First Floor

Construction-Second Floor

1 First Floor Demolition Plan
SCALE: 1/4" = 1'-0"

2 Second Floor Demolition Plan
SCALE: 1/4" = 1'-0"



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Rev	Date	Description
▲	4.23.2009	Rear Deck Revised

Revisions

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D2 Demolition Plans.dwg

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FLOORS BAS, CEL, 1, 2, 3, PH, ROOF
192 PRESIDENT STREET
BROOKLYN, NY 11231

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Department of Buildings Approvals:

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DEMOLITION PLANS

SEAL: Drawing Number:

D2

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Rev	Date	Description
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Revisions

ACAD File Name:
D3 Demolition Plans.dwg

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RENOVATION & ADDITION
FLOORS BAS, CEL, 1, 2, 3, PH, ROOF
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BROOKLYN, NY 11231

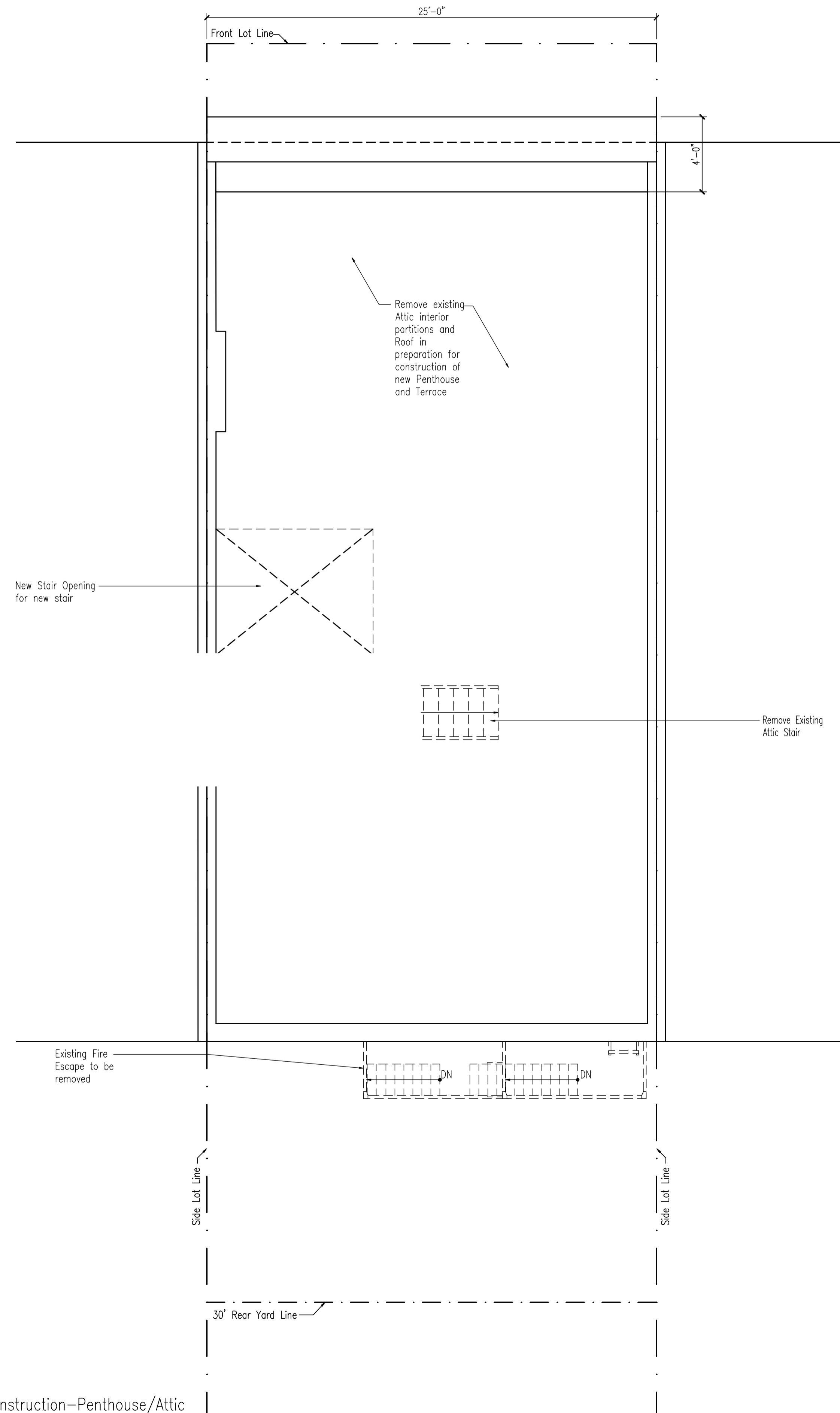
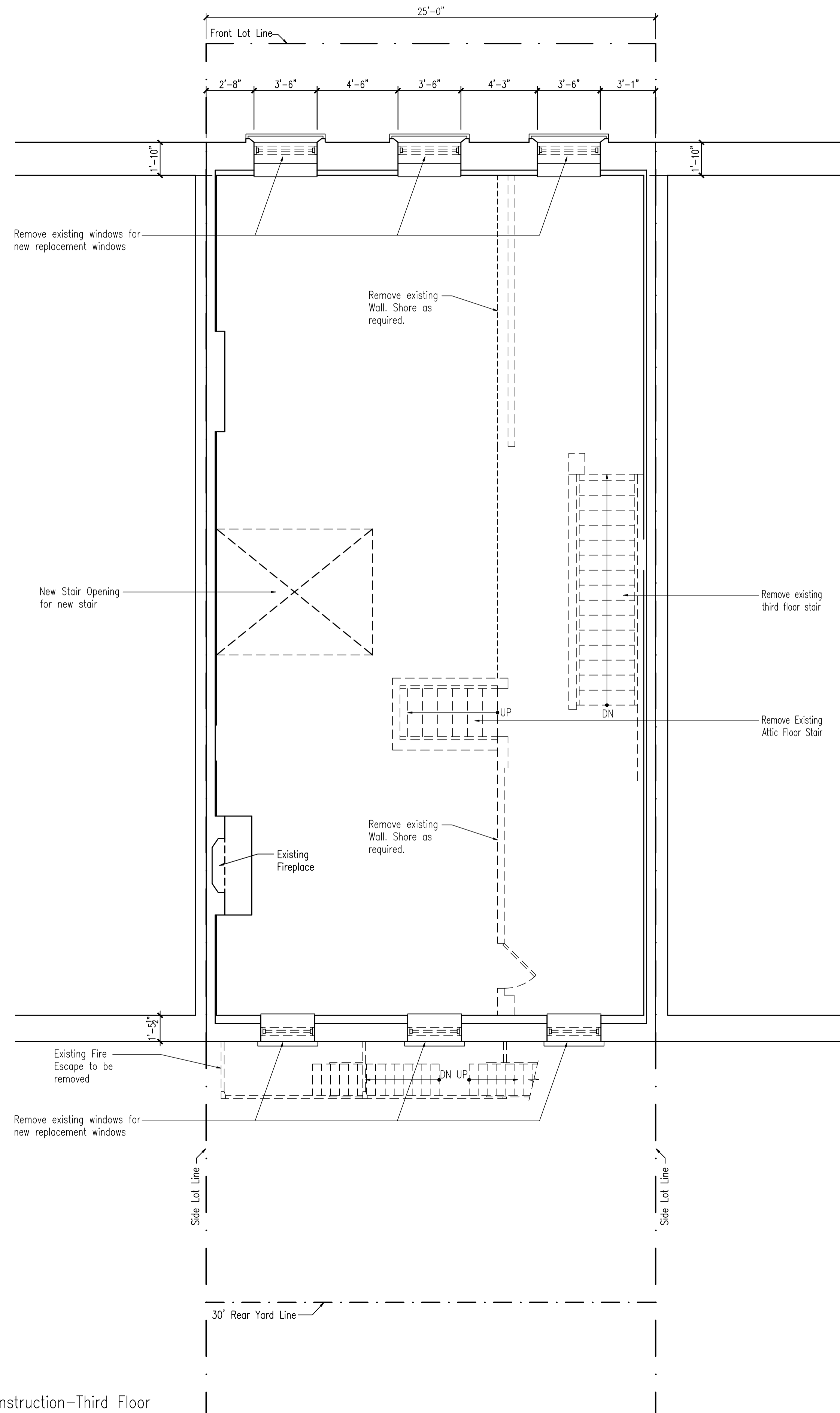
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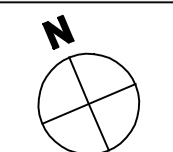


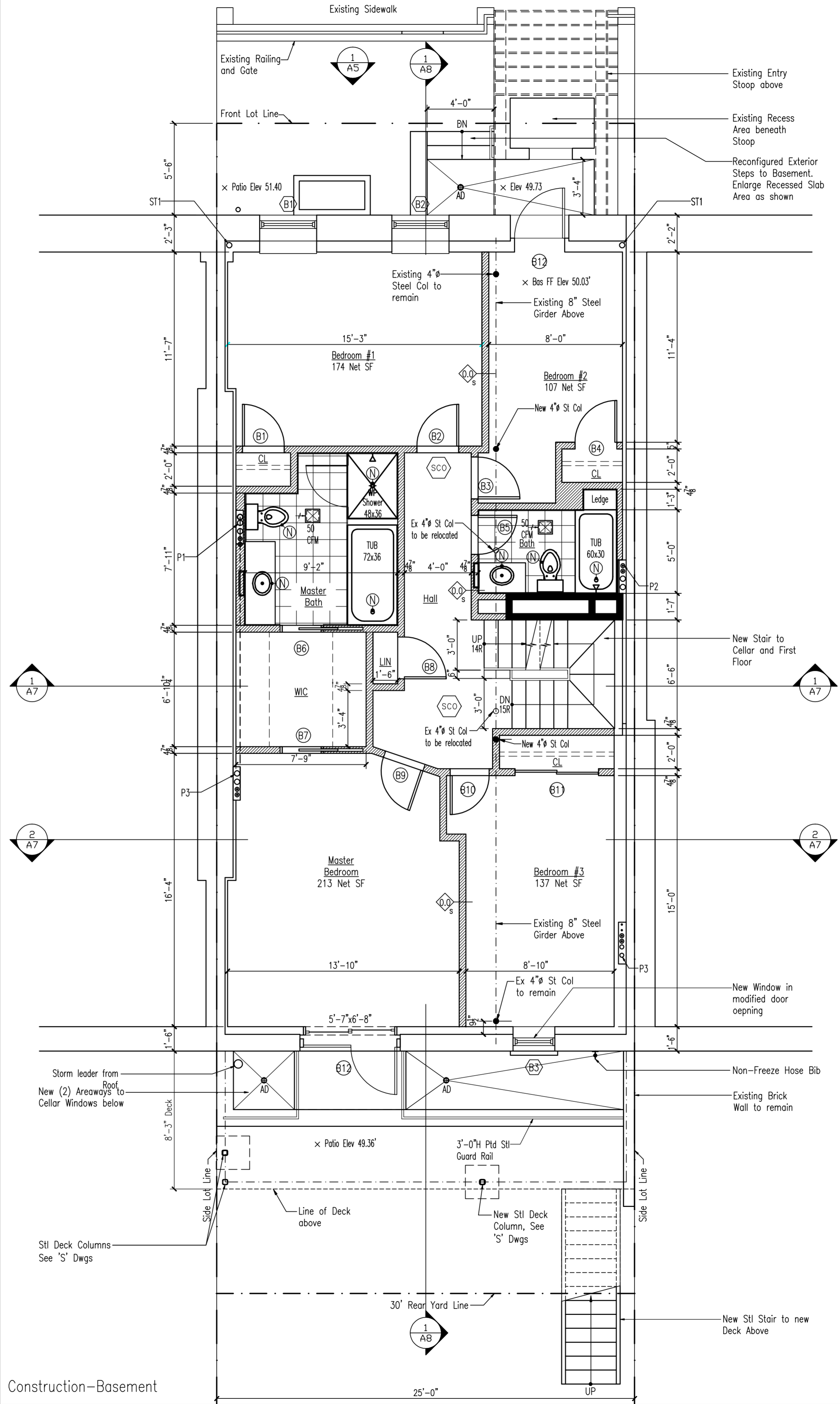
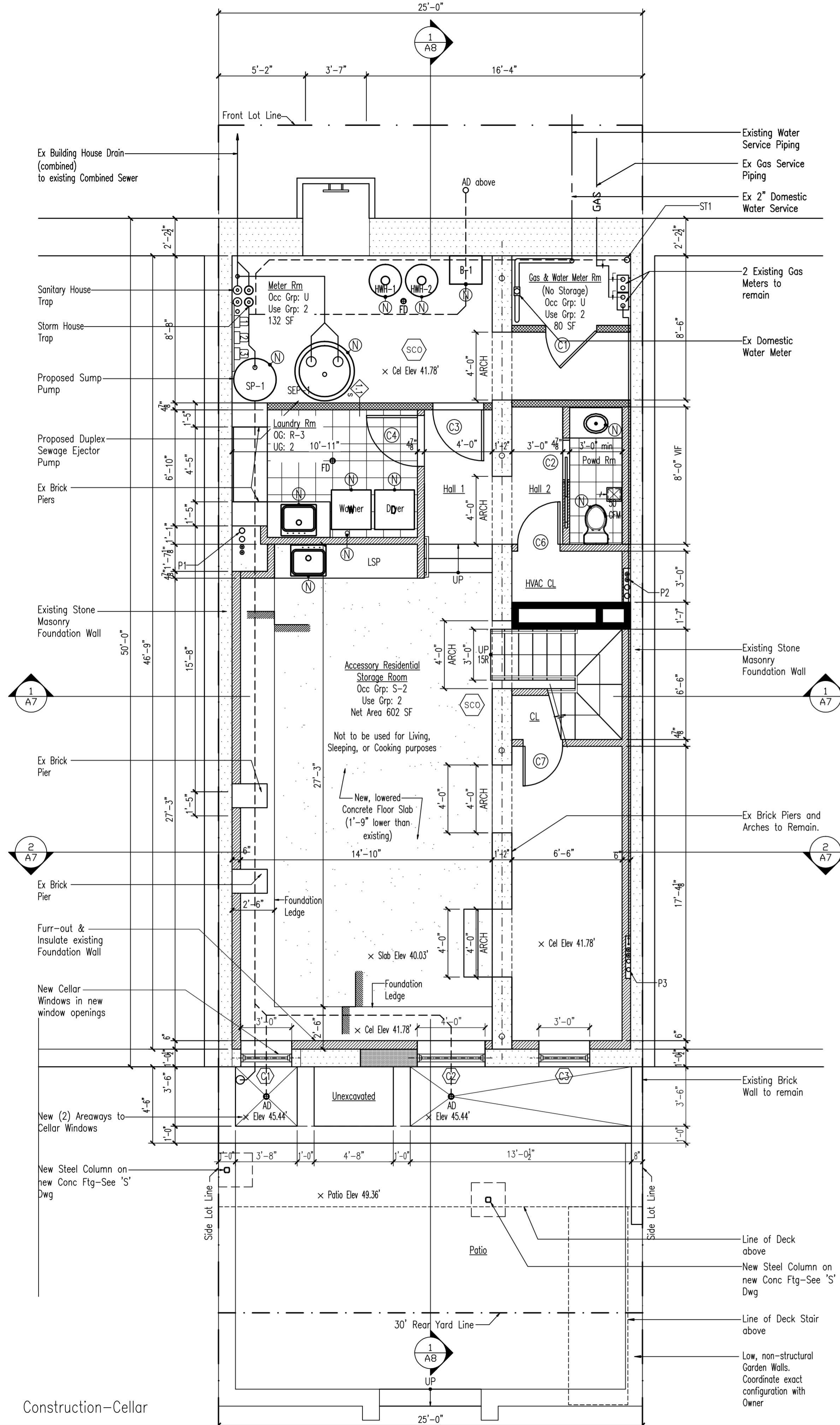
Construction-Third Floor

Construction-Penthouse/Attic

1 Third Floor Demolition Plan
SCALE: 1/4" = 1'-0"

2 Attic Demolition Plan
SCALE: 1/4" = 1'-0"





Legend:

- Existing Brick/Masonry wall to remain
- Existing 1-hr rated wall/partition to remain
- Existing non-rated wall/partition to remain
- New Interior non-bearing, non-rated partition. See Partition Details.
- New 1-hr rated wall/partition. See Partition Details.
- New 2-hr rated wall/partition. See Partition Details.
- Approved, UL-Listed Combination Smoke/Carbon Monoxide Detector per Local Law 7/04
- Fusible Link Fire Damper (BSA/MEA Approved Type)
- Existing Door unless otherwise noted on plan
- New Door

Plumbing Fixture Legend:

Note: Fixtures are existing to remain unless otherwise noted on plan:

- Existing fixture to be removed. Cap lines as required.
- Existing fixture to be replaced on existing roughing (or minor relocation)
- New fixture. Connect new branch piping to existing.

Notes

Hot Water Heaters HWH-1 & HWH-2:
 Manufacturer: A.O. Smith
 Model #: GDV-50 Pro-Max Direct-Vent
 Fuel: Natural Gas
 Capacity (Gallons): 50 Gallons
 BTU Input: 42,000 BTU/Hr
 Weight: 185 lbs
 MEA#: 395-07-E

Natural Light & Ventilation Table

Room	Net Area SF	Req'd Light SF	Prov Light SF	Req'd Vent SF	Prov Vent SF
Basement Bedrm 1	184	18.4	27.4	9.2	13.7
Basement Bedrm 2	88	8.8	18.5	4.4	9.3
Basement Bedrm 3	133	13.3	13	6.7	6.5
Basement Mst Bdrm	221	22.1	37.69	11.1	18.8

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Revisions

Rev	Date	Description
4.23.2009	4.23.2009	Rear Deck, Mech Shaft, Mech Closet

ACAD File Name:
 A1 Construction Plans.dwg

PROJECT TITLE:
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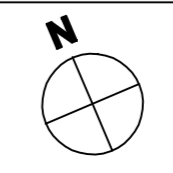
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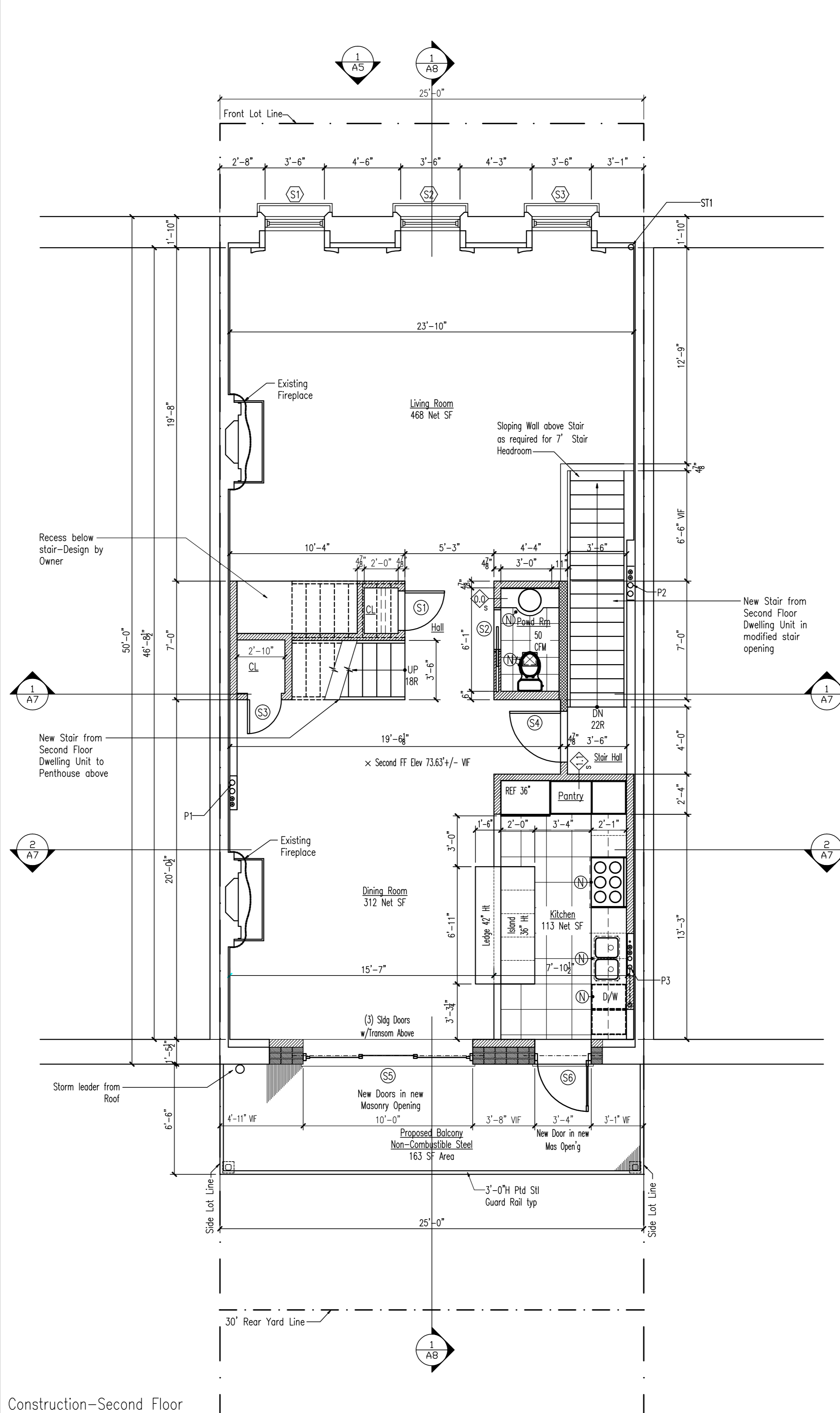
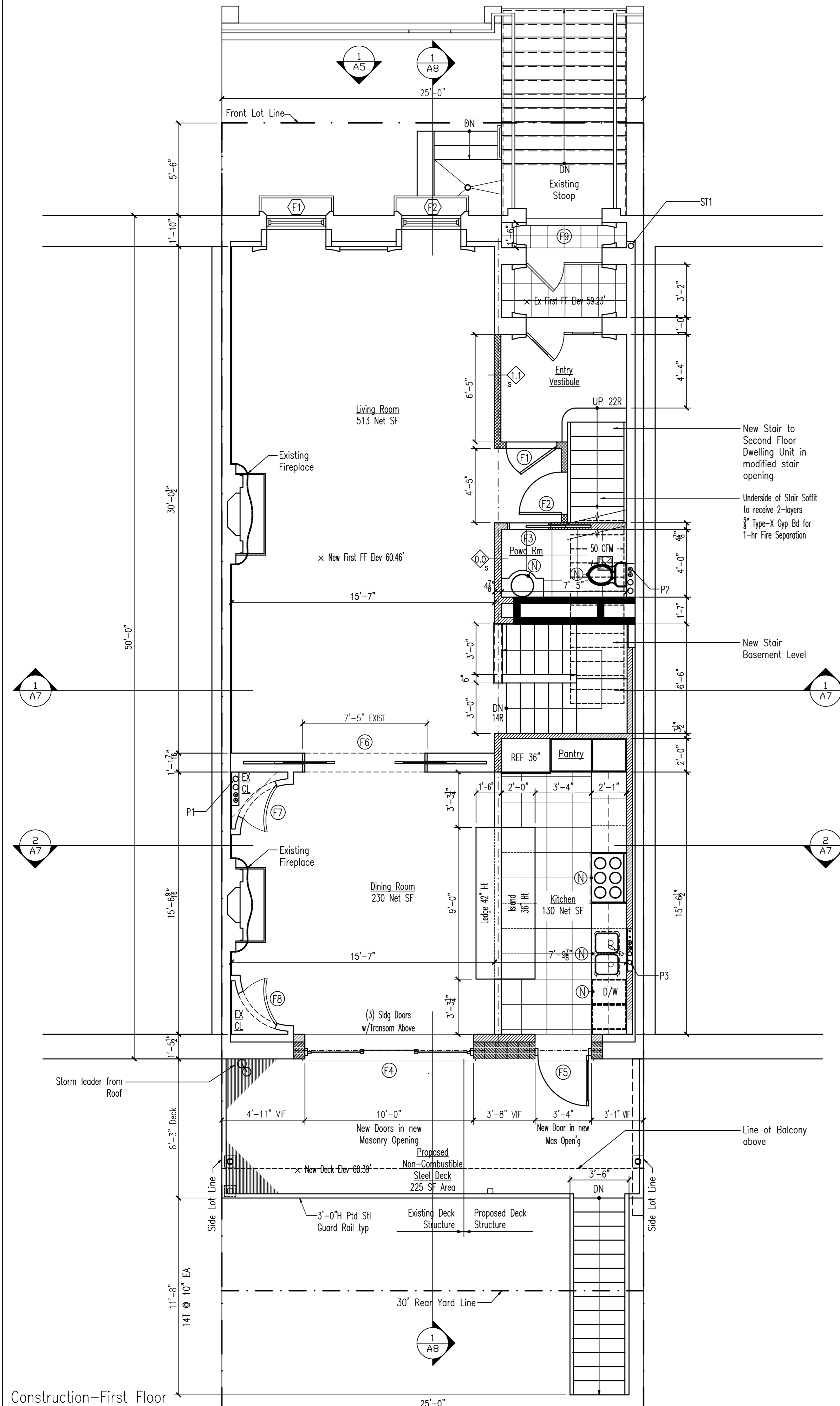
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CONSTRUCTION PLANS

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Drawing Number:
A1

1 Cellar Construction Plan
 SCALE: 1/4" = 1'-0"

2 Basement Construction Plan
 SCALE: 1/4" = 1'-0"





1 First Floor Construction Plan
 SCALE: 1/4" = 1'-0"

2 Second Floor Const Plan
 SCALE: 1/4" = 1'-0"

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Notes

Natural Light & Ventilation Table

Room	Net Area SF	Req'd Light SF	Prov Light SF	Req'd Vent SF	Prov Vent SF
1fl Livigrm	513	51.3	66.5	25.7	33.3
1fl Dinigrm	230	23.0	80	11.5	40.0
2fl Livigrm	468	46.8	58.62	23.4	29.3
2fl Dinigrm	312	31.2	80	15.6	40.0

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Rev	Date	Description
1	4.23.2009	Rear Deck, Mech Shaft

Revisions

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 A2 Construction Plans.dwg

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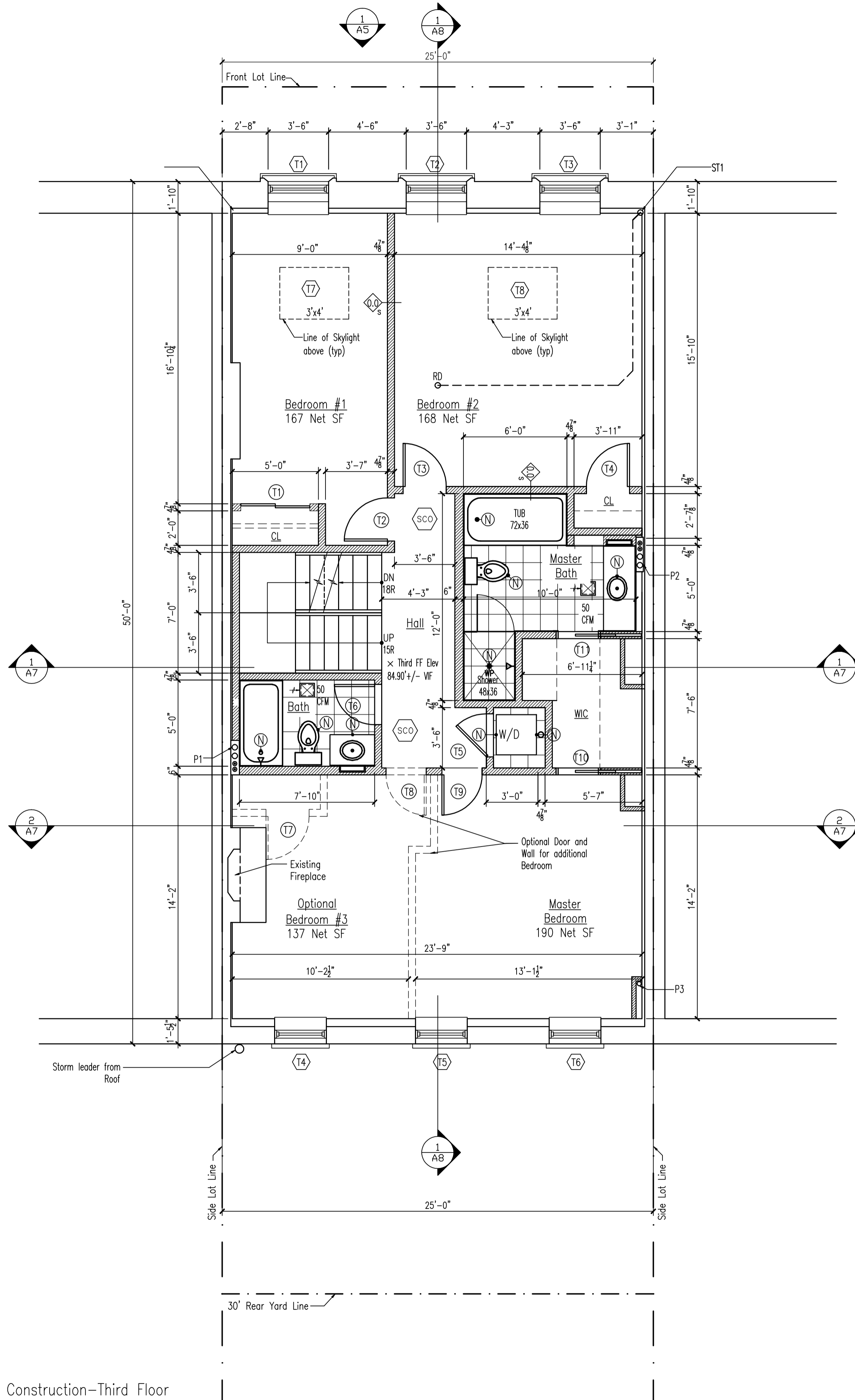
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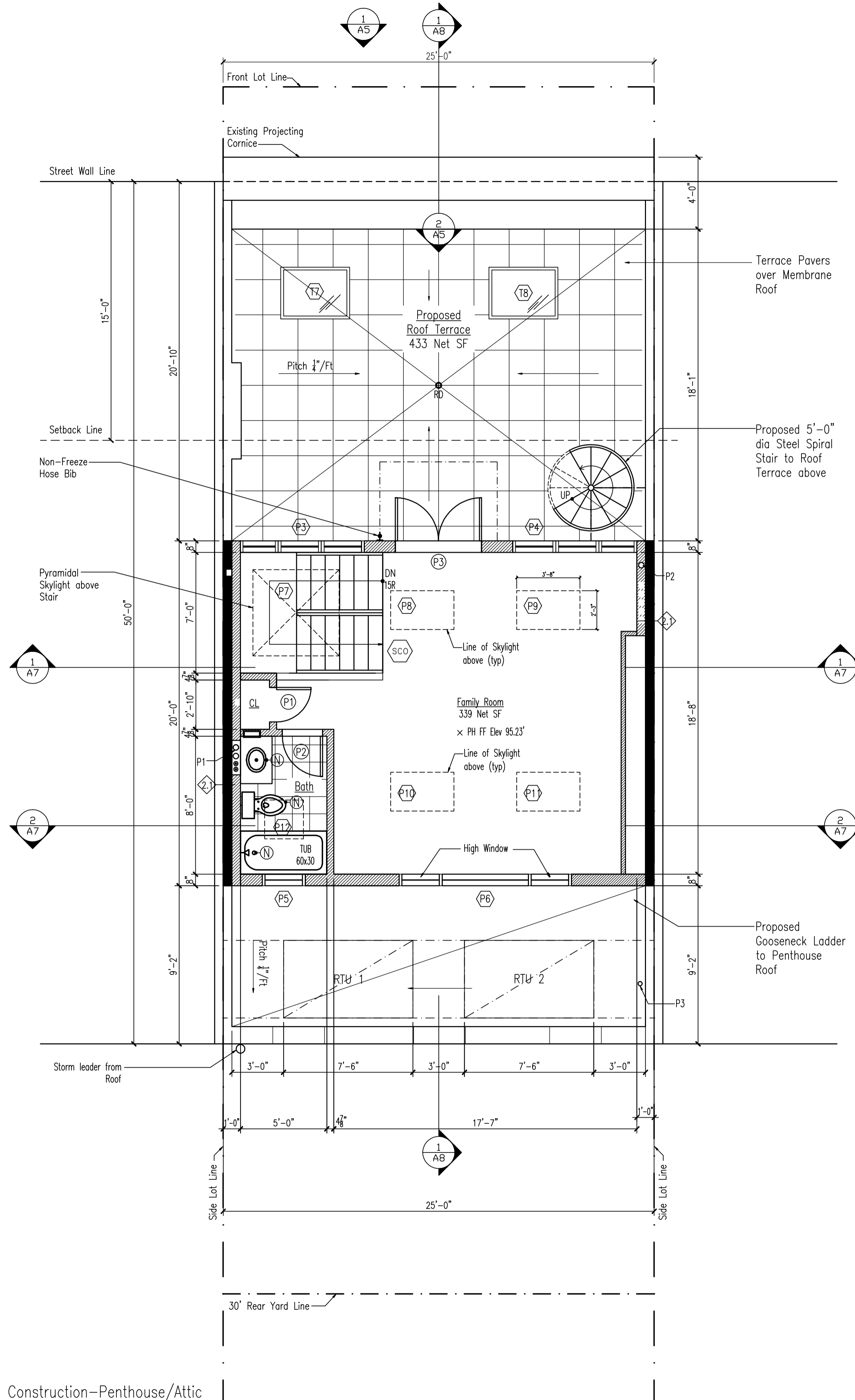
SEAL: _____ **Drawing Number:** _____

Department of Buildings Approvals: _____

A2



1 Third Floor Construction Plan
SCALE: 1/4" = 1'-0"



2 Penthouse Construction Plan
SCALE: 1/4" = 1'-0"

Legend:

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Room	Net Area SF	Req'd Light SF	Prov Light SF	Req'd Vent SF	Prov Vent SF
3fl Bedrm 1	167	16.7	19.54	8.4	9.8
3fl Bedrm 2	168	16.8	39.08	8.4	19.5
3fl Mst Bdrm	327	32.7	56.25	16.4	28.1
PH Fmly Rm	376	37.6	247.17	18.8	123.6

CLIENT

STERLING PARK
133 STERLING PLACE, SUITE 3A
BROOKLYN, NY 11217
Contact: JACOB ZUCKERMAN
Tel: (617) 359-2620

MECHANICAL ENGINEER:

STRUCTURAL ENGINEER:

CODE/ZONING CONSULTANT:

ARCHITECT OF RECORD

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Fax: 347-214-0124
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James Ian Anzalone, AIA
NYS RA Lic # 026010

Revisions

Rev	Date	Description
1	4.23.2009	Mech Shafts

ACAD File Name:
A3 Roof Plan.dwg

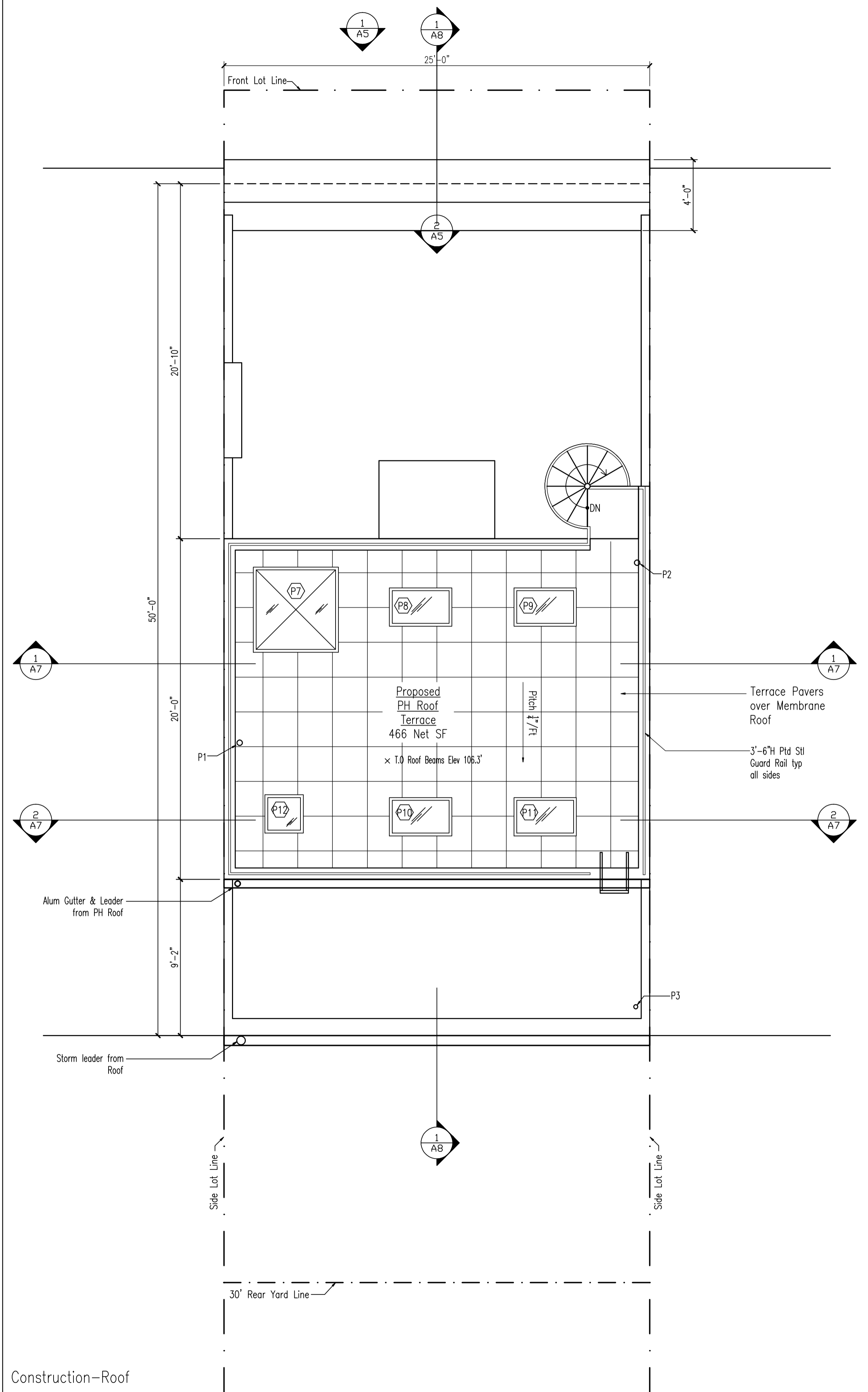
PROJECT TITLE:
RENOVATION & ADDITION
FLOORS BAS, CEL, 1, 2, 3, PH, ROOF
192 PRESIDENT STREET
BROOKLYN, NY 11231

Project Number: JA2008SPDV1
Drawn By: DS
Checked By:
Date: 11/3/2008
Issued For:

Department of Buildings Approvals:

DRAWING TITLE:
CONSTRUCTION PLANS

SEAL: Drawing Number:
A3



Legend:

- Existing Brick/Masonry wall to remain
- Existing 1-hr rated wall/partition to remain
- Existing non-rated wall/partition to remain
- New Interior non-bearing, non-rated partition. See Partition Details.
- New 1-hr rated wall/partition. See Partition Details.
- New 2-hr rated wall/partition. See Partition Details.
- Approved, UL-Listed Combination Smoke/Carbon Monoxide Detector per Local Law 7/04
- Fusible Link Fire Damper (BSA/MEA Approved Type)
- Existing Door unless otherwise noted on plan
- New Door

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Plumbing Fixture Legend:

Note: Fixtures are existing to remain unless otherwise noted on plan:

- Existing fixture to be removed. Cap lines as required.
- Existing fixture to be replaced on existing roughing (or minor relocation)
- New fixture. Connect new branch piping to existing.

Notes

Rev	Date	Description

Department of Buildings Approvals:

Revisions

ACAD File Name:
 A4 Construction Plans.dwg

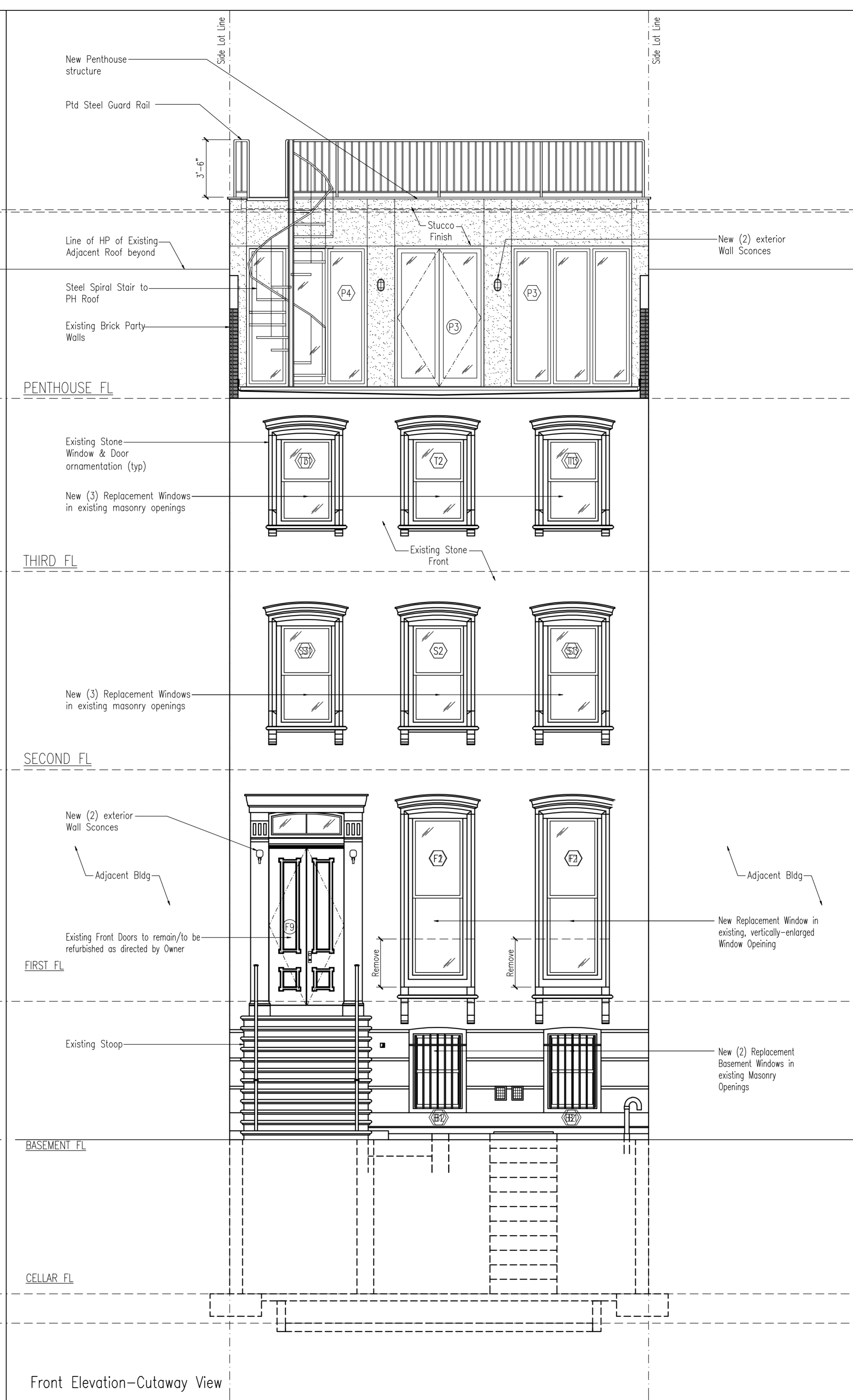
PROJECT TITLE:
RENOVATION & ADDITION
 FLOORS BAS, CEL, 1, 2, 3, PH, ROOF
 192 PRESIDENT STREET
 BROOKLYN, NY 11231

Project Number: JA2008SPDV1
 Drawn By: DS
 Checked By:
 Date: 11/3/2008
 Issued For:

DRAWING TITLE:
CONSTRUCTION PLANS

SEAL: Drawing Number:
A4

1 Roof Construction Plan
 SCALE: 1/4" = 1'-0"



Front Elevation-Street View

Front Elevation-Cutaway View

1 **Front Elevation-Street View**
SCALE: 1/4" = 1'-0"

2 **Front Elevation-Cutaway View**
SCALE: 1/4" = 1'-0"

CLIENT

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Rev	Date	Description

Revisions

ACAD File Name:
A5 Exterior Elevations.dwg

PROJECT TITLE:
RENOVATION & ADDITION
FLOORS BAS, CEL, 1, 2, 3, PH, ROOF
192 PRESIDENT STREET
BROOKLYN, NY 11231

Project Number: JA2008SPDV1

Drawn By: DS

Checked By:

Date: 11/3/2008

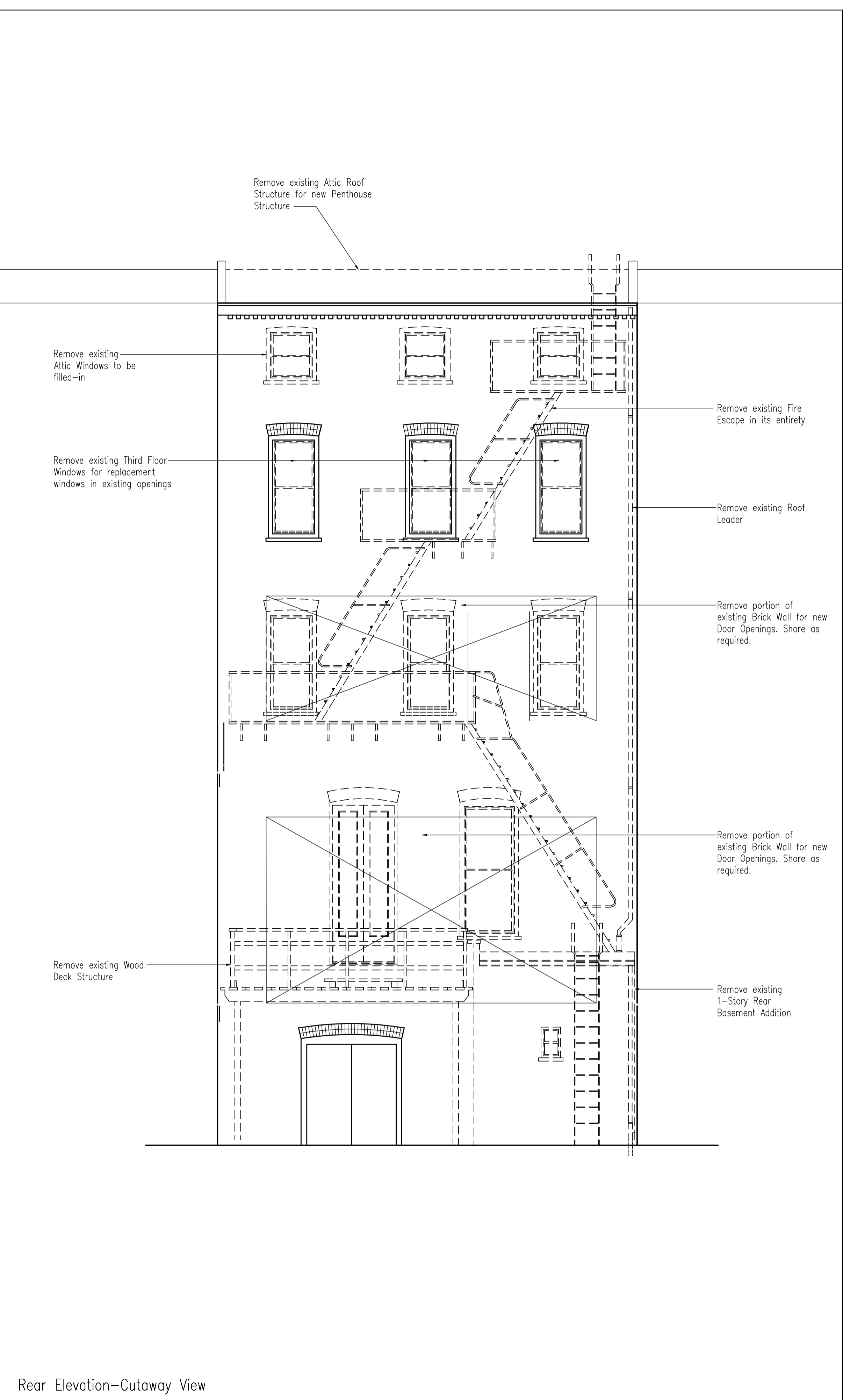
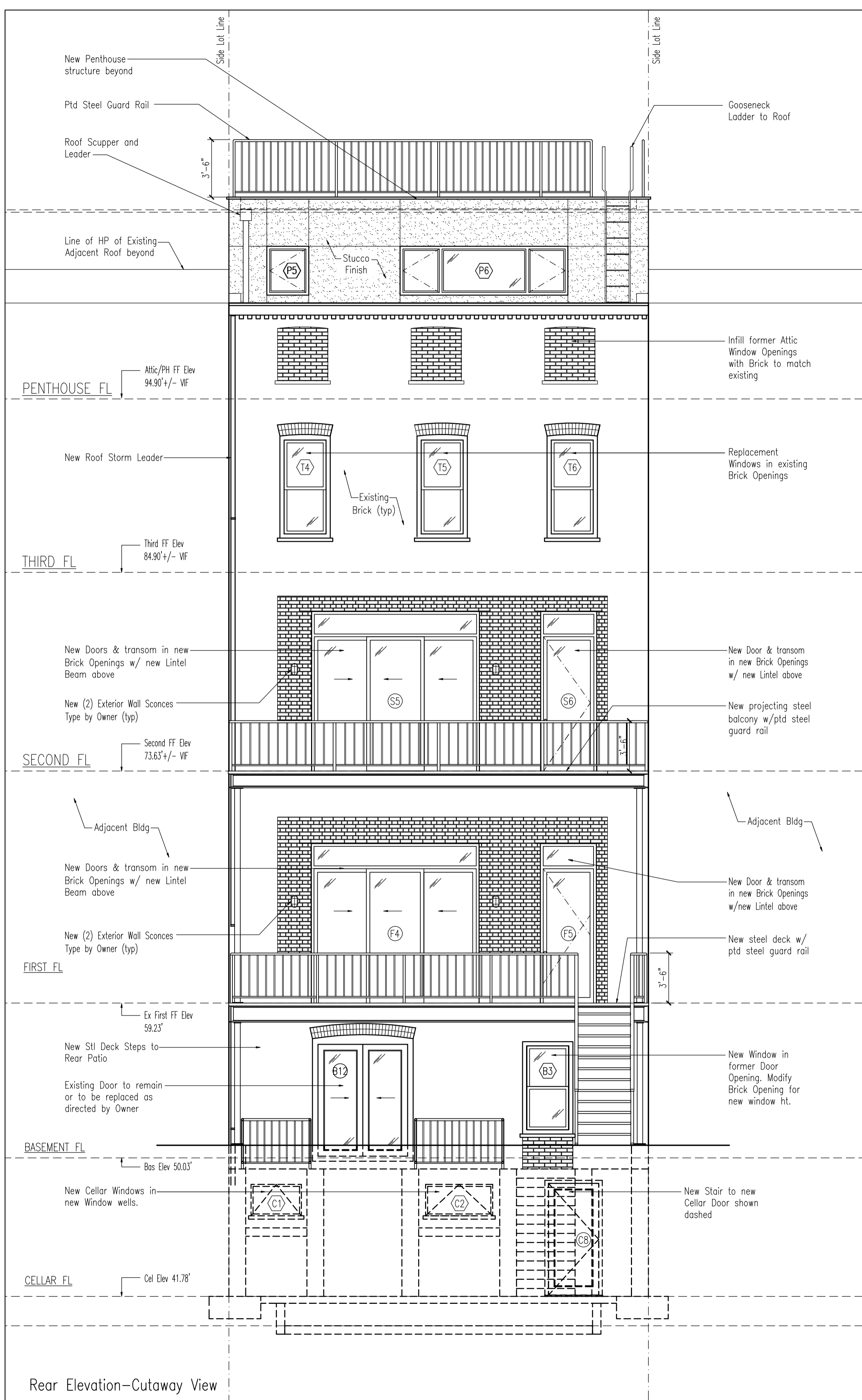
Issued For:

LEGAL NOTES:
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DRAWING TITLE:
EXTERIOR ELEVATIONS

SEAL: **Drawing Number:**

A5



1 Rear Elevation-Proposed
SCALE: 1/4" = 1'-0"

2 Rear Elevation-Demolition
SCALE: 1/4" = 1'-0"

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Rev	Date	Description
▲	4.23.2009	Rear Deck Revised

Revisions
ACAD File Name:
A6 Elevations.dwg

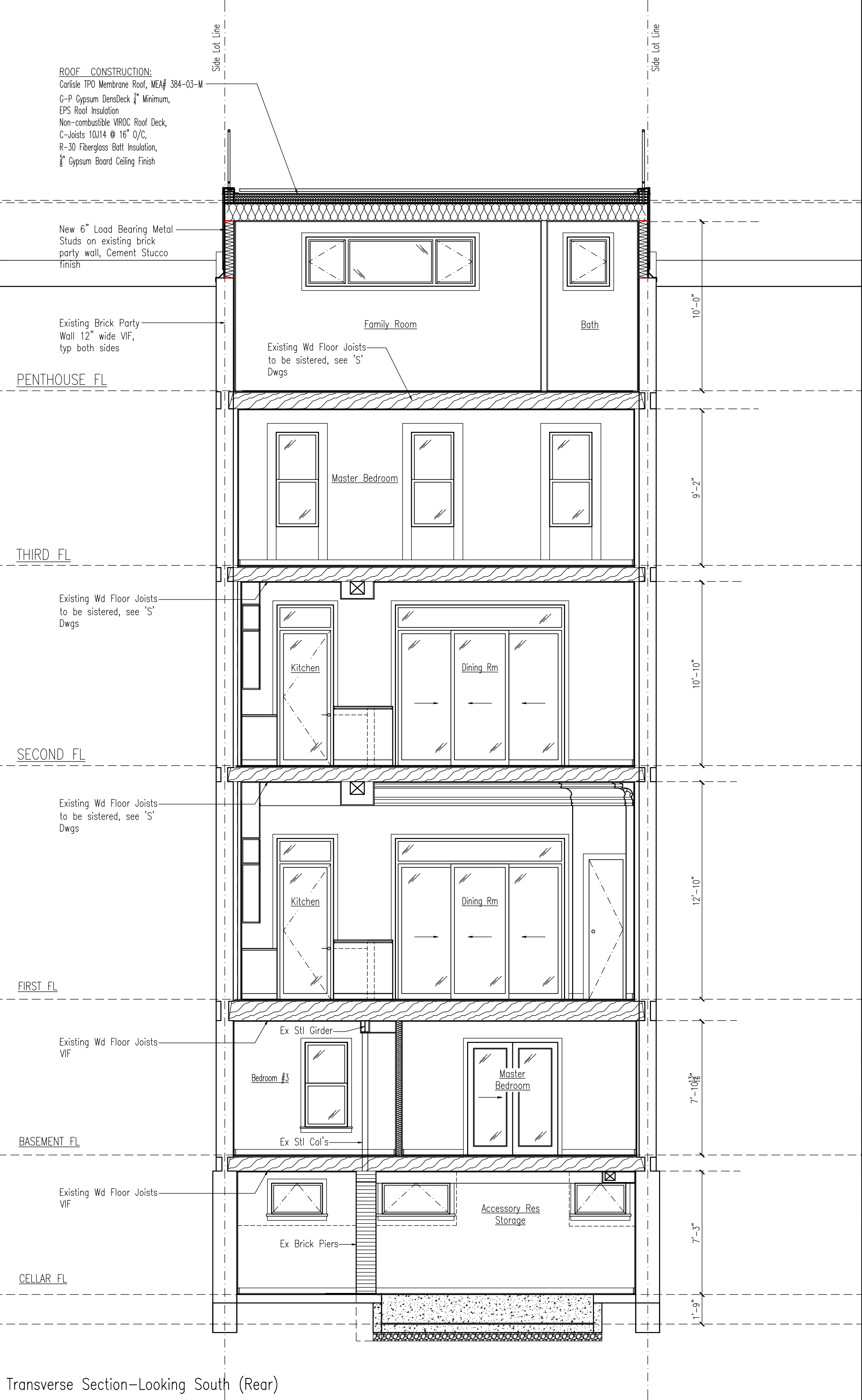
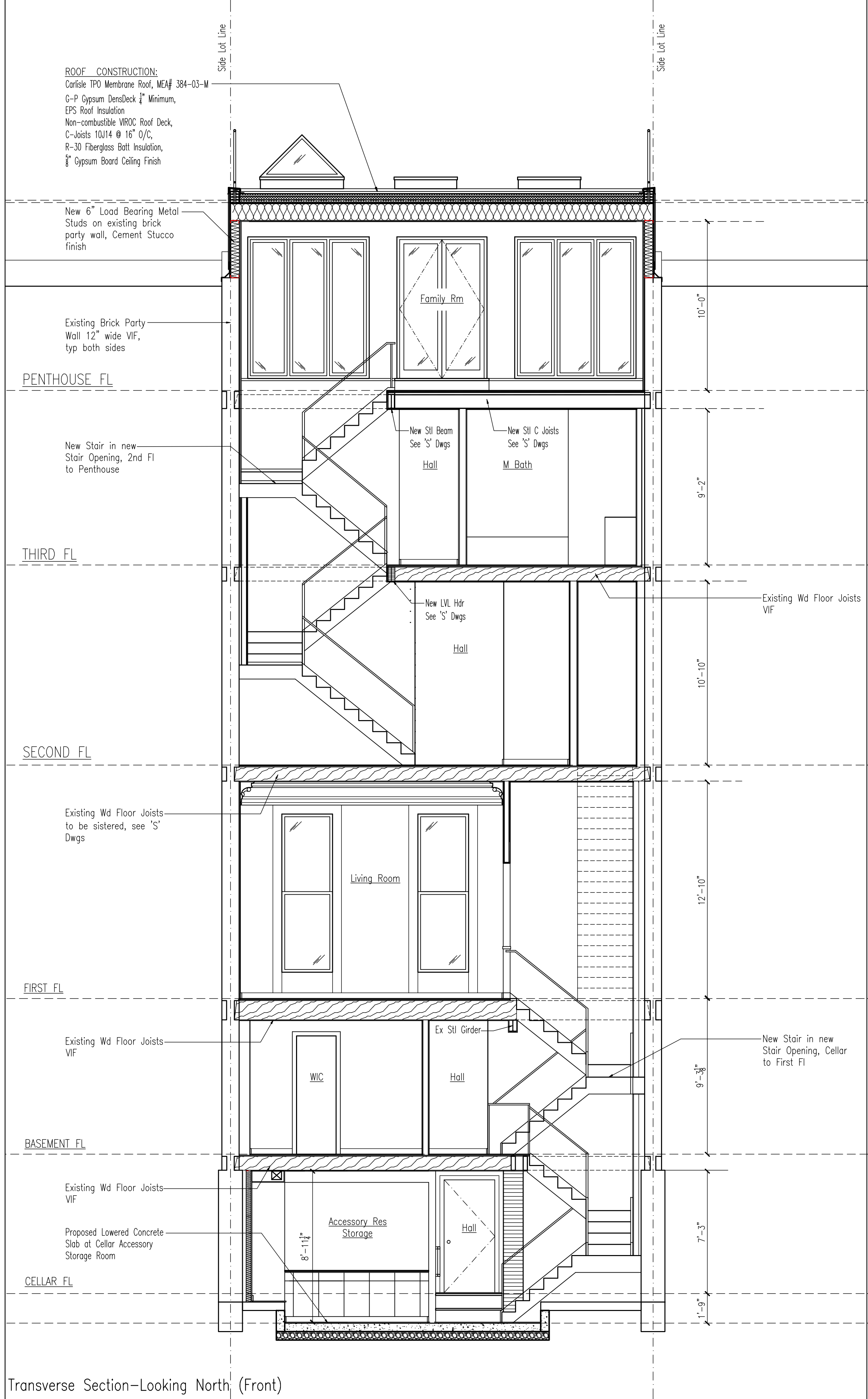
PROJECT TITLE:
RENOVATION & ADDITION
FLOORS BAS, CEL, 1, 2, 3, PH, ROOF
192 PRESIDENT STREET
BROOKLYN, NY 11231

Project Number: JA2008SPDV1
Drawn By: DS
Checked By:
Date: 11/3/2008
Issued For:

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Department of Buildings Approvals:
DRAWING TITLE:
EXTERIOR ELEVATIONS 1
SEAL: Drawing Number:

A6



1 Transverse Building Section-Looking North
 SCALE: 1/4" = 1'-0"

2 Transverse Building Section-Looking South
 SCALE: 1/4" = 1'-0"

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STRUCTURAL ENGINEER:
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 James Ian Anzalone, AIA
 NYS RA Lic # 026010

Rev	Date	Description
▲	4.23.2009	Updated to agree with Struct

Revisions

ACAD File Name:
 A7 Sections.dwg

PROJECT TITLE:
RENOVATION & ADDITION
 FLOORS BAS, CEL, 1, 2, 3, PH, ROOF
 192 PRESIDENT STREET
 BROOKLYN, NY 11231

Project Number: JA2008SPDV1
Drawn By: DS
Checked By:
Date: 11/3/2008
Issued For:

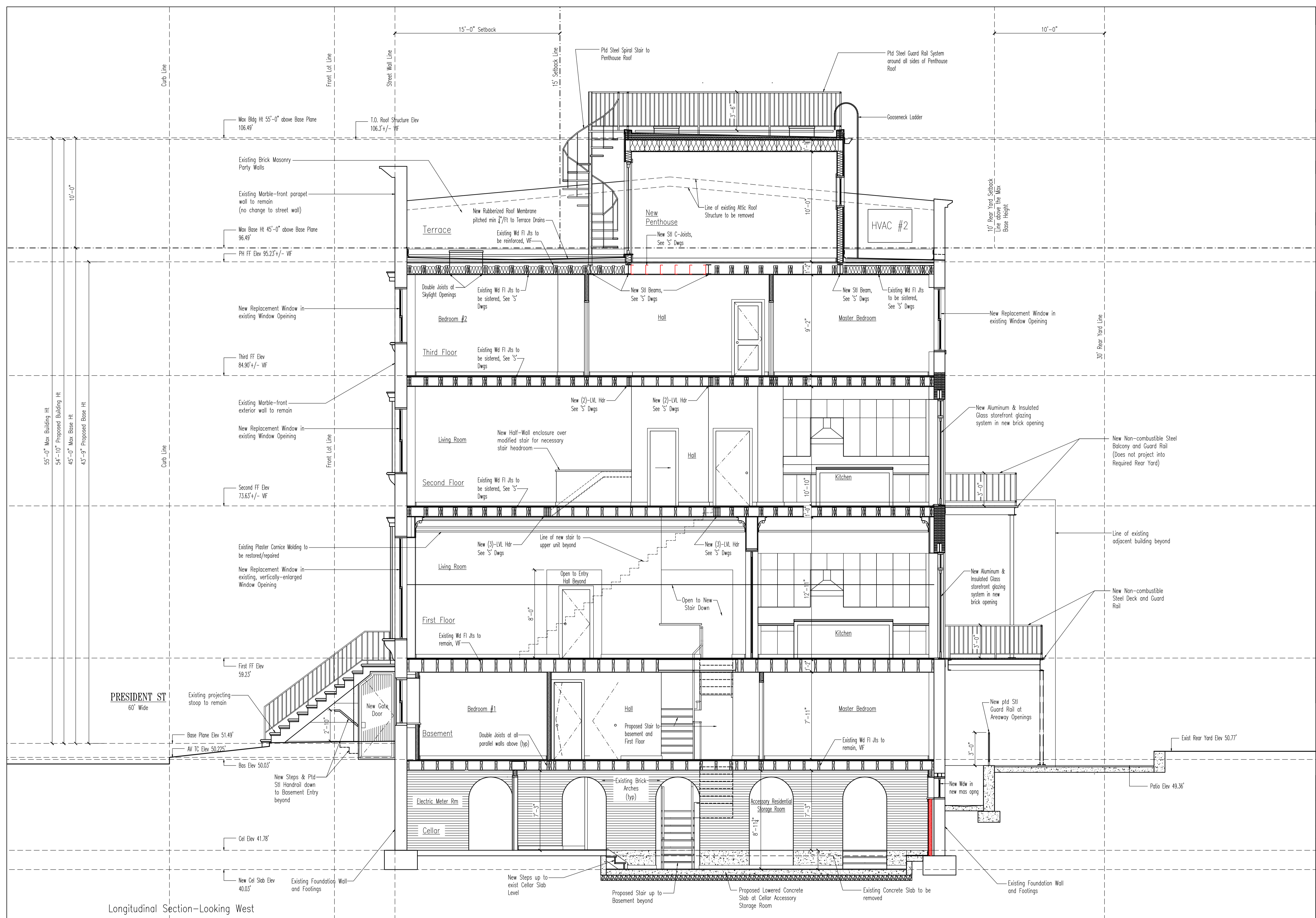
DRAWING TITLE:
BLDG SECTIONS

SEAL: Drawing Number:

A7

LEGAL NOTES:
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Department of Buildings Approvals:



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James Ian Anzalone, AIA
 NYS RA Lic # 026010

Rev	Date	Description
▲	4.23.2009	Rear Deck, Structural Info

Revisions

ACAD File Name:
 A8 Bldg Sections.dwg

PROJECT TITLE:
RENOVATION & ADDITION
 FLOORS BAS, CEL, 1, 2, 3, PH, ROOF
 192 PRESIDENT STREET
 BROOKLYN, NY 11231

Project Number: JA2008SPDV1
 Drawn By: DS
 Checked By:
 Date: 12/17/2008
 Issued For:

DRAWING TITLE:
BLDG SECTIONS

SEAL: Drawing Number:

1 Longitudinal Building Section-Looking East
 SCALE: 1/4" = 1'-0"

A8

CLIENT

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 Contact: JACOB ZUCKERMAN
 Tel: (617) 359-2620

MECHANICAL ENGINEER:

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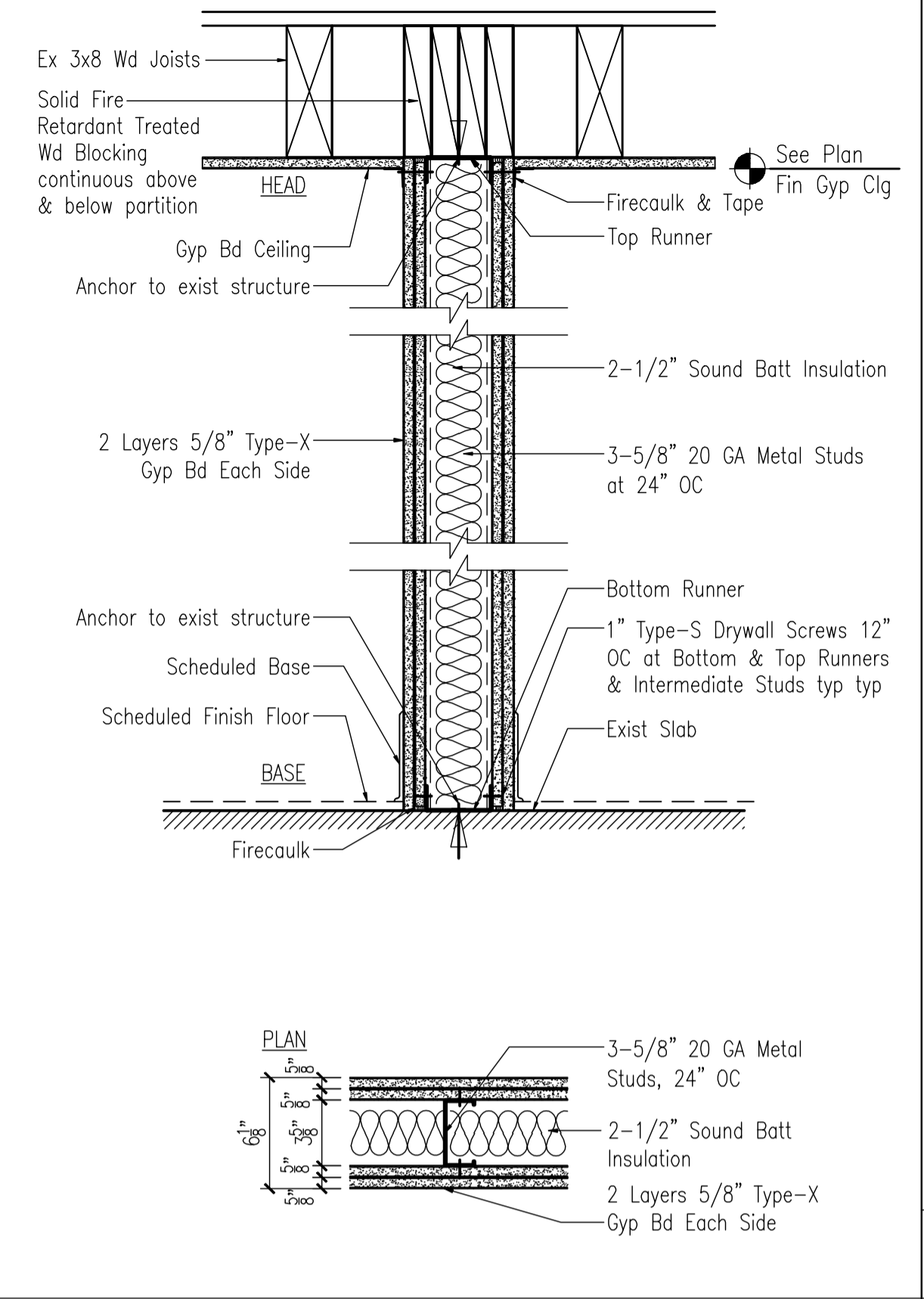
ARCHITECT OF RECORD

**Anzalone
 Architecture PLLC**

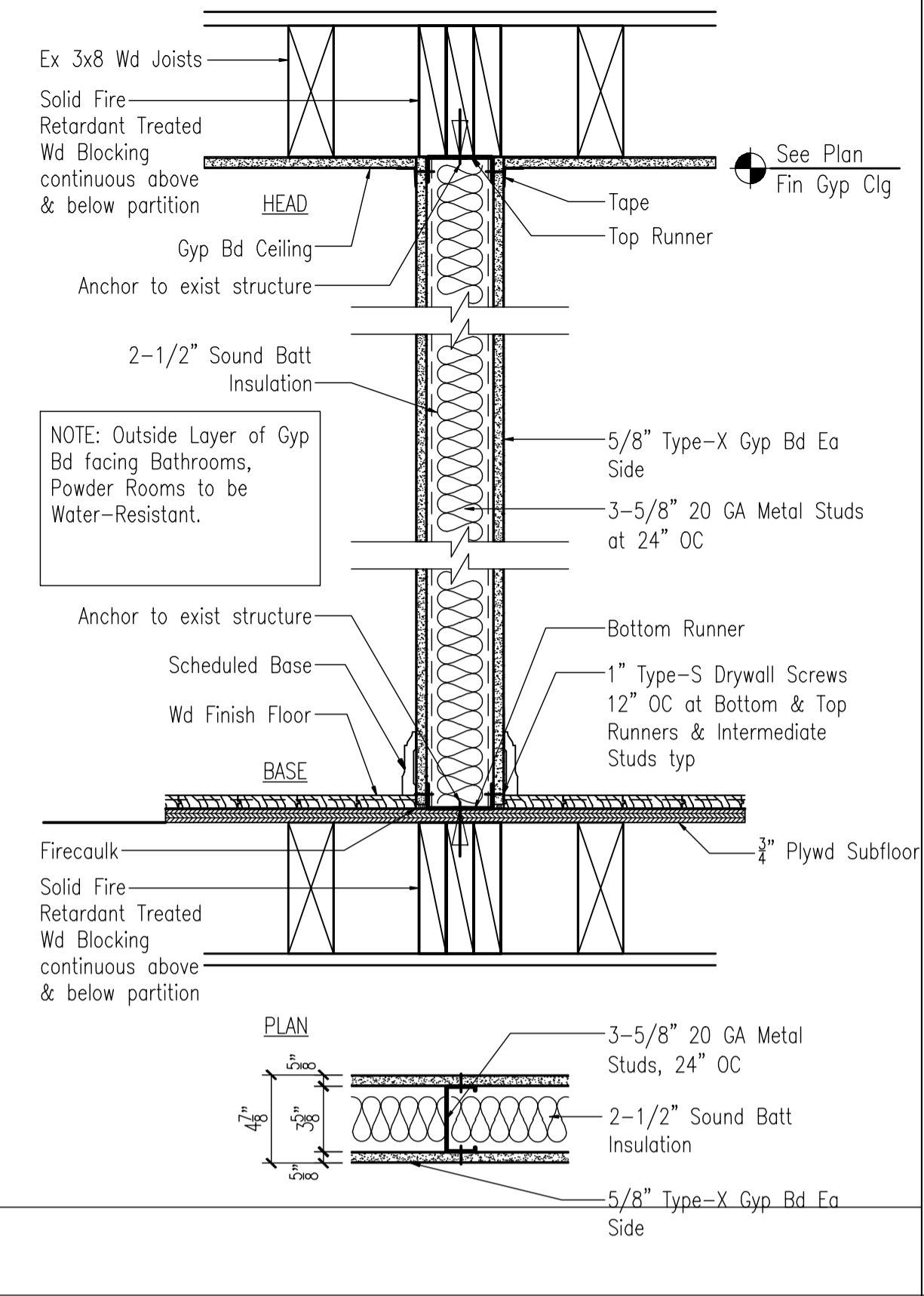
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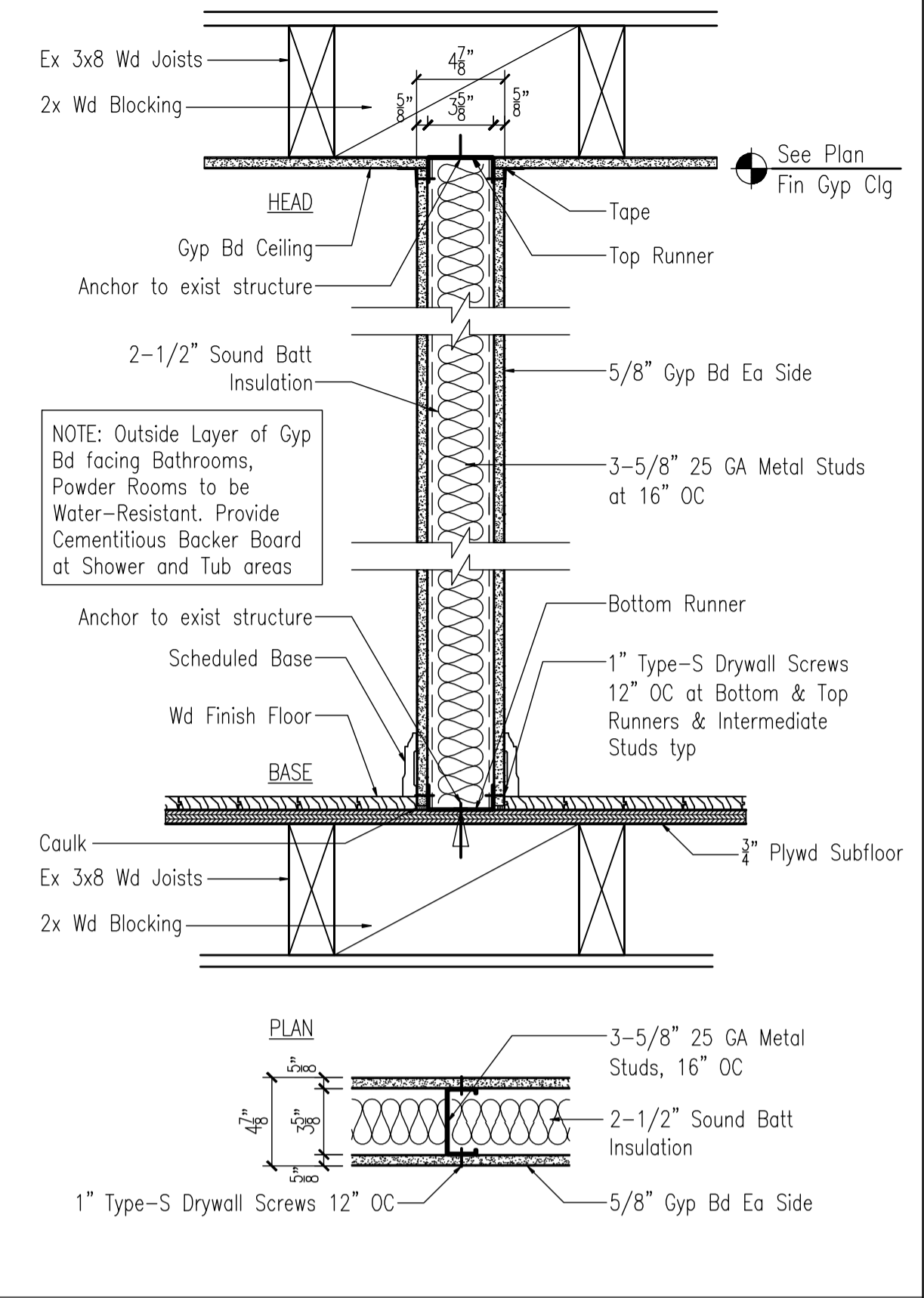
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 NYS RA Lic # 026010



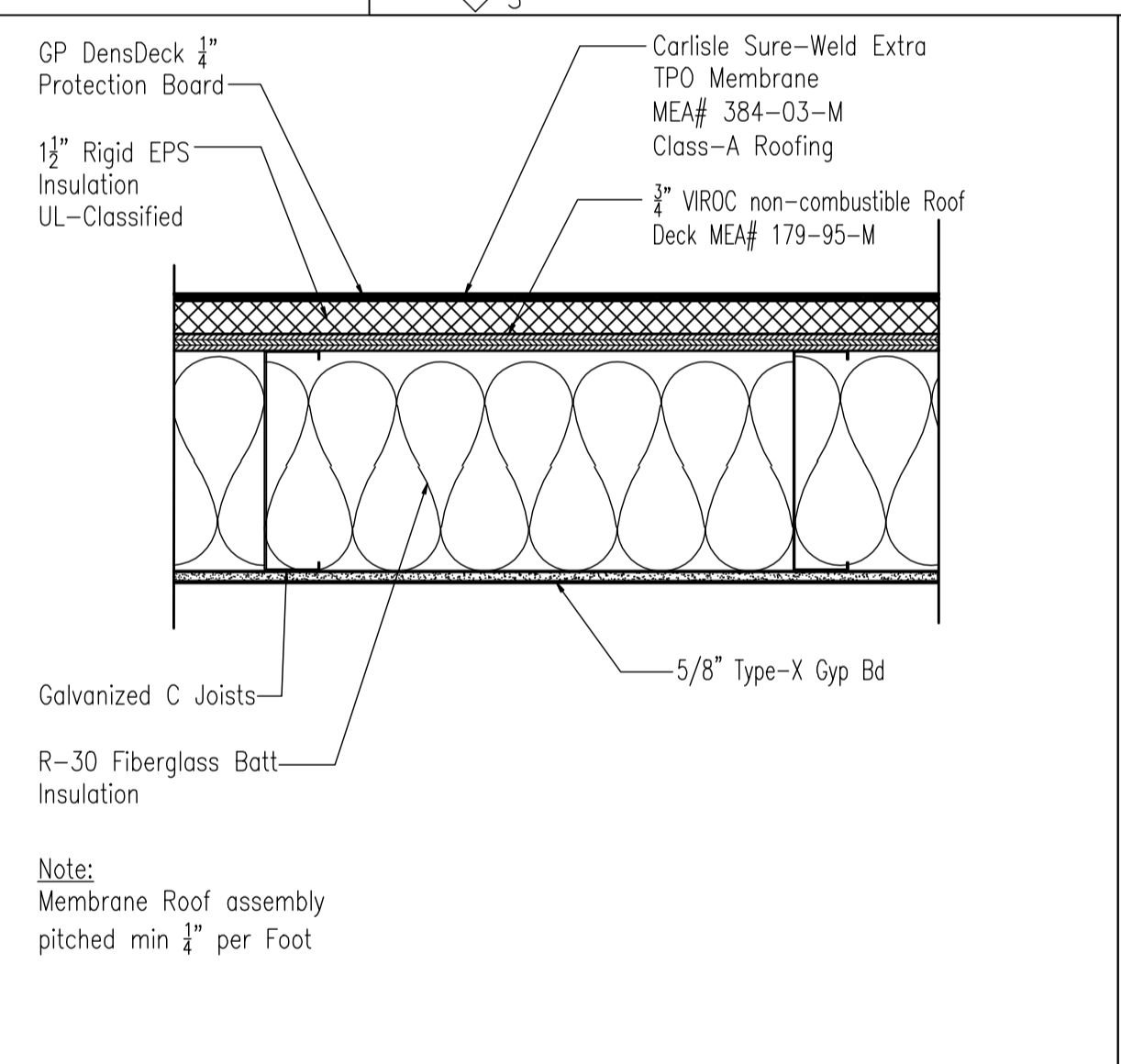
2.0 Metal Stud Partition 2-HR MEA 81-98-M
 Demising Partition STC 50 UL 415B



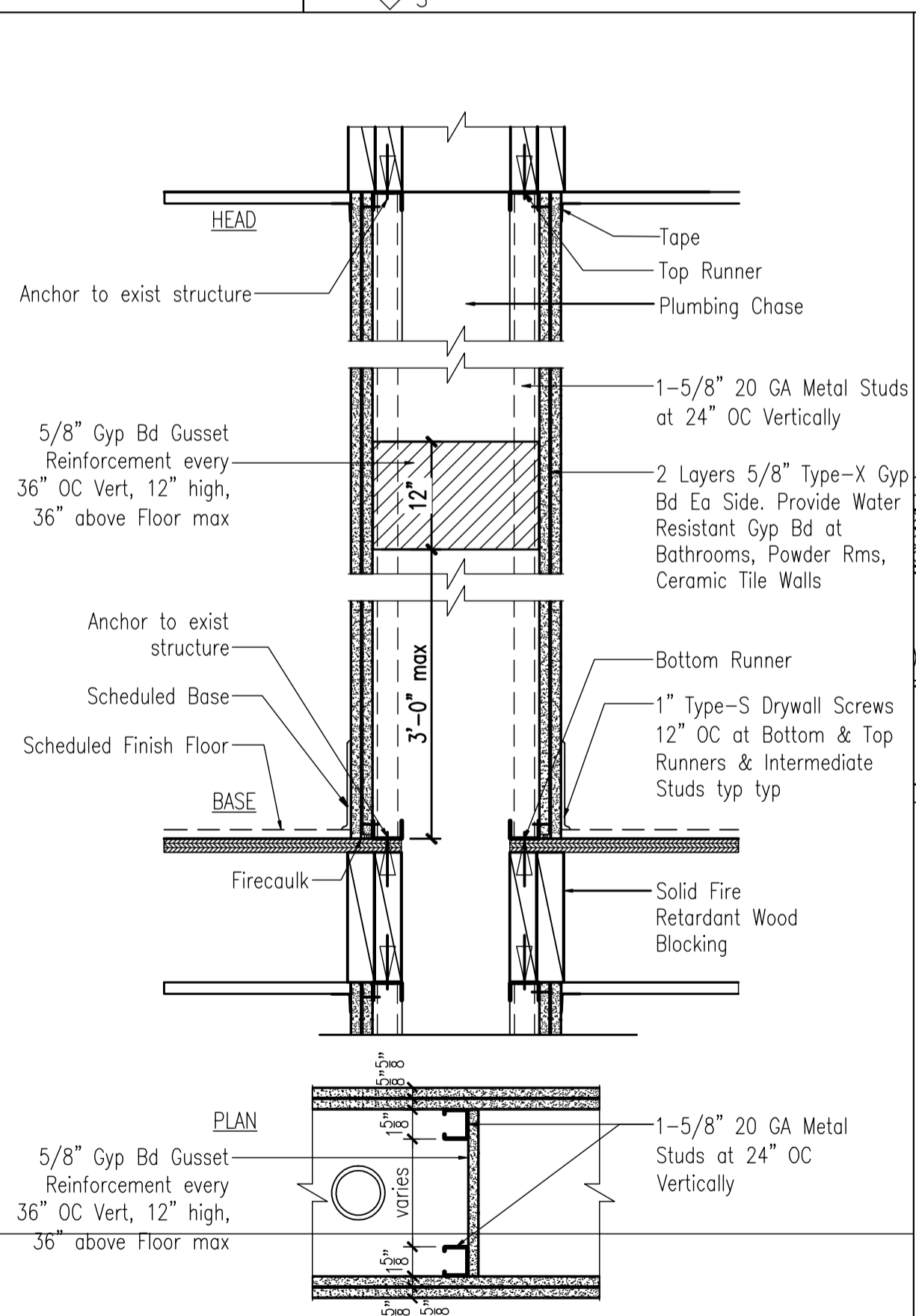
1.1 Metal Stud Partition 1-HR MEA 81-98-M
 Interior non-bearing, between apts UL 415A



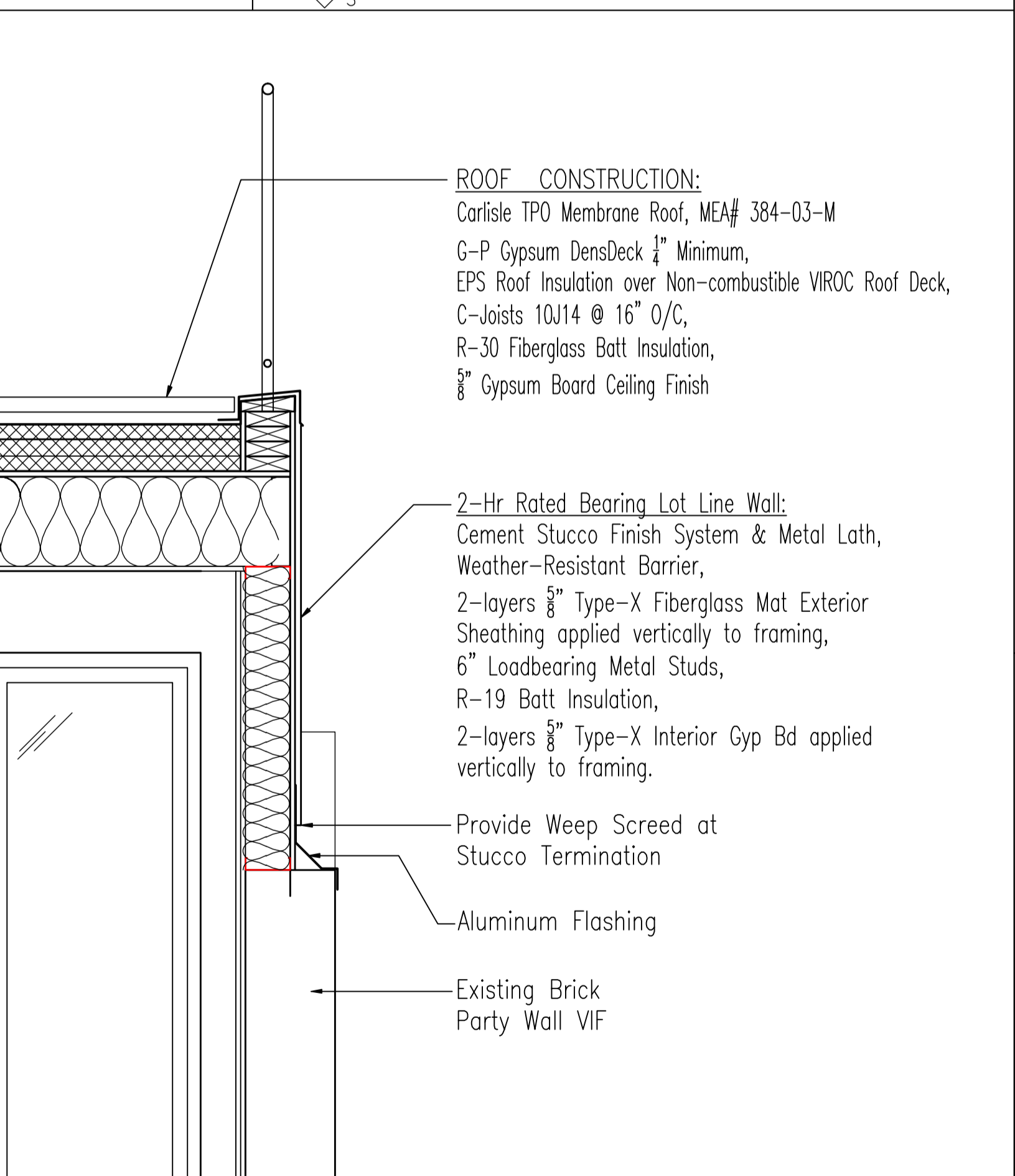
0.0 Metal Stud Partition 0-HR
 Interior non-bearing, up to slab, sound batt insulation



R1 Roof Construction 1-HR
 C-Joists Generic Assembly from CA Fire Resistance Design Manual



2.2 Metal Stud Partition 2-HR MEA 81-98-M
 Plumbing Chose Wall STC 39 UL 415A



2.1 Exterior Lot Line Wall
 SCALE: 3/4" = 1'-0"

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Rev	Date	Description

Revisions

ACAD File Name:
 A9 Details.dwg

PROJECT TITLE:
RENOVATION & ADDITION
 FLOORS BAS, CEL, 1, 2, 3, PH, ROOF
 192 PRESIDENT STREET
 BROOKLYN, NY 11231

Project Number: JA2008SPDV1
Drawn By: DS
Checked By:
Date: 11/3/2008
Issued For:

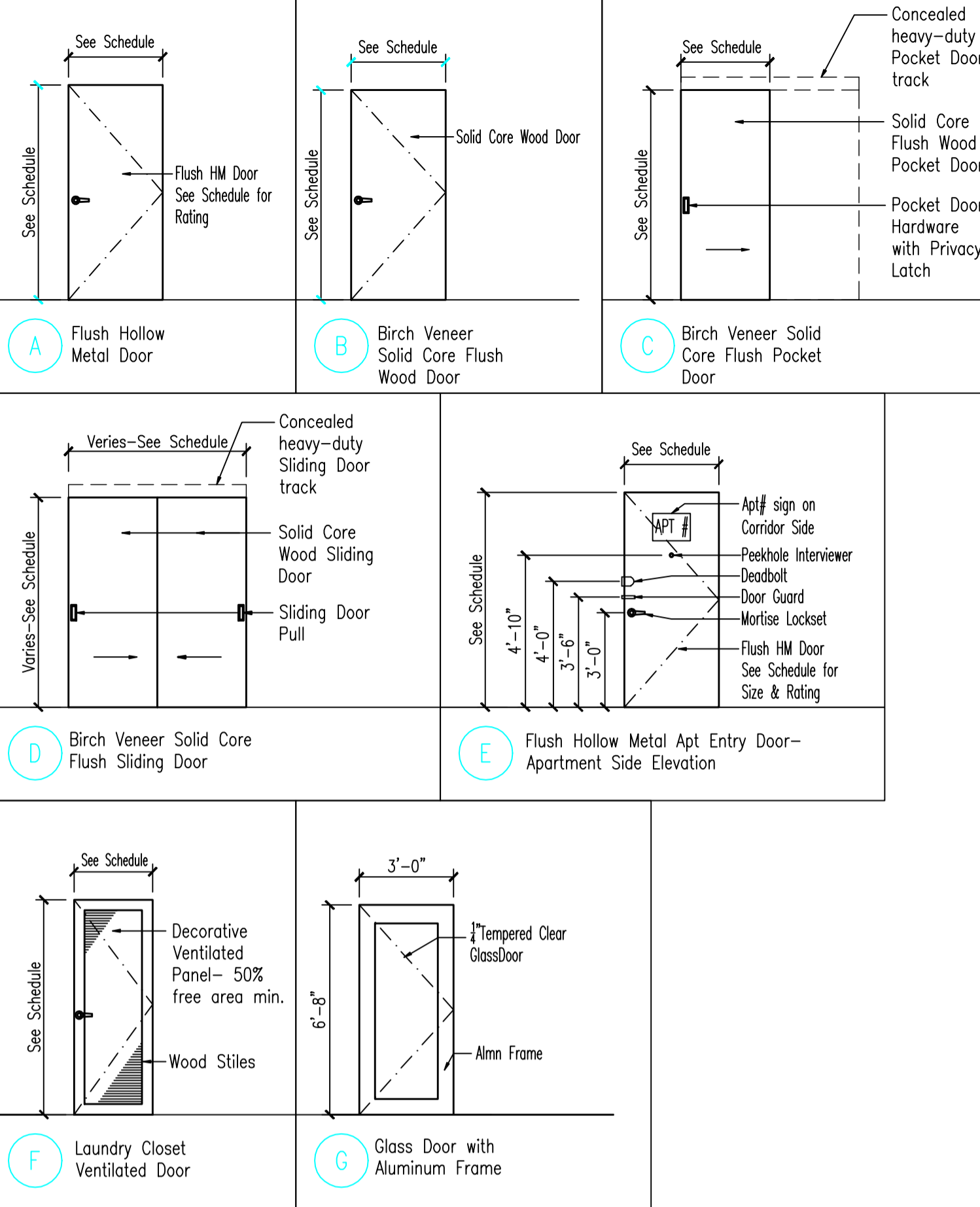
Department of Buildings Approvals:

DRAWING TITLE:
PARTITION DETAILS

SEAL: Drawing Number:

Floor	Door Schedule										FRAME				NOTES
	Door No	Type	Rating	Location	Width	Height	Thick	Mat	Hardware	Type	Material	Head	Jamb	Sill	
Cellar	Ⓒ1	Hatch	N/A	Front Patio	4'-0"	5'-0" L	---	Metal		---	---	---	---	---	Sidewalk Access Hatch Doors
	Ⓒ2	A	1 1/2 Hr FPSC	Gas Meter Rm Entry Door	3'-0"	6'-8"	1 3/4"	HM	Swing Door	1	HM	---	J1	S2	Provide 'Gas Meter Room' Sign on Door
	Ⓒ3	A	1 1/2 Hr FPSC	Hall/Meter Rm Entry Door	3'-0"	6'-8"	1 3/4"	HM	Swing Door	1	HM	---	J1	S2	
	Ⓒ4	B	NR	Laundry Room Entry Door	3'-0"	6'-8"	1 3/8"	SCWD	Swing Door	1	HM	---	J1	S5	
	Ⓒ5	C	NR	Powder Room Entry Door	2'-4"	6'-8"	1 3/8"	SCWD	Pocket Door	3	WD	---	J4	---	
	Ⓒ6	B	NR	CL Adjacent to Powder Rm	2'-0"	6'-8"	1 3/8"	SCWD	Swing Door	2	WD	---	J2	---	
	Ⓒ7	B	NR	Rec Room Closet Door	2'-4"	6'-8"	1 3/8"	SCWD	Swing Door	2	WD	---	J2	---	
	Ⓒ8	G	NR	Rec Rm Exterior Door	2'-8"	6'-8"	---	Alum/Gl	Swing Door		Alum	---	---	---	Insulated Gl Outswing Patio Door
Basement	Ⓒ9	B	NR	Bedroom 1 Closet Door	2'-6"	8'-0"	1 3/8"	SCWD	Swing Door	2	WD	---	J2	S1	
	Ⓒ10	B	NR	Bedroom 1 Entry Door	2'-6"	8'-0"	1 3/8"	SCWD	Swing Door	2	WD	---	J2	S1	
	Ⓒ11	B	NR	Bedroom 2 Entry Door	2'-6"	6'-8"	1 3/8"	SCWD	Swing Door	2	WD	---	J2	S1	
	Ⓒ12	B	NR	Bedroom 2 Closet Door	2'-6"	6'-8"	1 3/8"	SCWD	Swing Door	2	WD	---	J2	S1	
	Ⓒ13	B	NR	Bathroom Entry Door	2'-4"	6'-8"	1 3/8"	SCWD	Swing Door	2	WD	---	J2	S5	
	Ⓒ14	C	NR	Master Bath Entry Door	2'-4"	7'-0"	1 3/8"	SCWD	Pocket Door	3	WD	---	J4	S5	
	Ⓒ15	C	NR	Master Bath Closet Door	2'-4"	8'-0"	1 3/8"	SCWD	Pocket Door	3	WD	---	J4	S5	
	Ⓒ16	B	NR	Hall Linen Closet Door	2'-6"	8'-0"	1 3/8"	SCWD	Swing Door	2	WD	---	J2	S1	
	Ⓒ17	B	NR	Master Bedroom Entry Door	2'-6"	8'-0"	1 3/8"	SCWD	Swing Door	2	WD	---	J2	S1	
	Ⓒ18	B	NR	Bedroom 3 Entry Door	2'-4"	8'-0"	1 3/8"	SCWD	Swing Door	2	WD	---	J2	S1	
	Ⓒ19	F	NR	Bedroom 3 Closet Door	5'-0"	8'-0"	1 3/8"	SCWD	Sliding Door	2	WD	---	J4	S1	
	Ⓒ20	G - Exist	NR	Bedroom 2 to Front Patio	3'-0"	6'-8"	---	Alum/Gl	Swing Door		Alum	---	---	---	Existing Exterior Door to Remain or Replace as directed by Owner
	Ⓒ21	EXIST	NR	Master Bedroom to Rear Patio	5'-7"	6'-8"	---	---	Sliding Door		---	---	---	---	Existing Exterior Door to Remain or Replace as directed by Owner
1st Fl	Ⓒ22	E	1 1/2 Hr FPSC	Lower Unit-Apt Entry Door	3'-0"	8'-0"	1 3/4"	HM	Swing Door		HM	---	---	---	Provide Metal Reinforcement Security Plate in Wall Adjacent to Door
	Ⓒ23	B	NR	Coat Closet in Hall	2'-6"	5'-0"	1 3/8"	SCWD	Swing Door	2	WD	---	J2	S1	
	Ⓒ24	C	NR	Powder Room Entry Door	2'-4"	6'-8"	1 3/8"	SCWD	Pocket Door	3	WD	---	J2	S5	
	Ⓒ25		NR	Dining Room Exterior Deck Doors	10'-0" (3 Panels)	8'-0"	---	Alum/Gl	Sliding Door		Alum	---	---	---	3 Operable Panel Insulated Aluminum & Glass Sliding Doors in Storefront Frame w/Fixed Transom above
	Ⓒ26		NR	Kitchen Exterior Deck Door	3'-0"	8'-0"	---	Alum/Gl	Swing Door		Alum	---	---	---	Insulated Alum & Glass Swing Door w/Fixed Transom above
	Ⓒ27	EXIST	NR	Living/Dining Room	7'-5"	Arched	---	Solid Wood/Glass	Pocket Doors		---	---	---	---	Existing Wood/Glass Pocket Doors to be modified for raised Parlor Floor. Coordinate with Owner.
	Ⓒ28	EXIST	NR	Dining Room-Right Closet Door	Curved	Verify	---	Solid Wood	Curved Swing Door		---	---	---	---	Existing Curved Closet Doors to be modified for raised Parlor Floor. Coordinate with Owner.
	Ⓒ29	EXIST	NR	Dining Room-Left Closet Door	Curved	Verify	---	Solid Wood	Curved Swing Door		---	---	---	---	Existing Curved Closet Doors to be modified for raised Parlor Floor. Coordinate with Owner.
2nd Fl	Ⓒ30	B	NR	Hall Closet	2'-4"	8'-0"	1 3/8"	SCWD	Swing Door	2	WD	---	J2	S1	
	Ⓒ31	C	NR	Powder Room	2'-4"	8'-0"	1 3/8"	SCWD	Pocket Door	2	WD	---	J2	S5	
	Ⓒ32	B	NR	Closet in Dining Room	2'-0"	5'-0" VIF	1 3/8"	SCWD	Swing Door	2	WD	---	J2	J1	Verify exact height w/Stair Platform
	Ⓒ33	E	1 1/2 Hr FPSC	Upper Unit-Apt Entry Door	3'-0"	8'-0"	1 3/4"	HM	Swing Door	1	HM	---	J1	S4	Provide Metal Reinforcement Security Plate in Wall Adjacent to Door
	Ⓒ34		NR	Dining Room Ext Balcony Doors	10'-0" (3 Panels)	8'-0"	---	Alum/Gl	Sliding Door		Alum	---	---	---	3 Operable Panel Insulated Aluminum & Glass Sliding Doors in Storefront Frame w/Fixed Transom above
	Ⓒ35		NR	Kitchen Exterior Balcony Door	3'-0"	8'-0"	---	Alum/Gl	Swing Door		Alum	---	---	---	Insulated Alum & Glass Swing Door w/Fixed Transom above
3rd Fl	Ⓒ36	D	NR	Bedroom 1 Closet Door	4'-0"	8'-0"	1 3/8"	SCWD	Sliding Door	2	WD	---	J2	S1	
	Ⓒ37	B	NR	Bedroom 1 Entry Door	2'-6"	8'-0"	1 3/8"	SCWD	Swing Door	2	WD	---	J2	S1	
	Ⓒ38	B	NR	Bedroom 2 Entry Door	2'-6"	8'-0"	1 3/8"	SCWD	Swing Door	2	WD	---	J2	S1	
	Ⓒ39	B	NR	Bedroom 2 Closet Door	2'-6"	8'-0"	1 3/8"	SCWD	Swing Door	2	WD	---	J2	S1	
	Ⓒ40	F	NR	Laundry Rm Closet Door	2'-6"	8'-0"	1 3/8"	SCWD	Swing Door	2	WD	---	J2	S1	
	Ⓒ41	B	NR	Bathroom Entry Door	2'-4"	8'-0"	1 3/8"	SCWD	Swing Door	2	WD	---	J2	S5	
	Ⓒ42	B	NR	Optional Bedroom 3 Cl Door	2'-6"	8'-0"	1 3/8"	SCWD	Swing Door	2	WD	---	J2	S1	Bedroom 3 is Optional-Verify w/Owner
	Ⓒ43	B	NR	Optional Bedroom 3 Entry Door	2'-4"	8'-0"	1 3/8"	SCWD	Swing Door	2	WD	---	J2	S1	
	Ⓒ44	B	NR	Master Bedroom Entry Door	2'-4"	8'-0"	1 3/8"	SCWD	Swing Door	2	WD	---	J2	S1	
	Ⓒ45	C	NR	Master Bedroom Closet Door	2'-4"	8'-0"	1 3/8"	SCWD	Pocket Door	3	WD	---	J2	S1	
	Ⓒ46	C	NR	Master Bath Entry Door	2'-4"	8'-0"	1 3/8"	SCWD	Pocket Door	3	WD	---	J2	S5	
Penthouse	Ⓒ47	B	NR	Family Room Closet Door	2'-0"	8'-0"	1 3/8"	SCWD	Swing Door	2	WD	---	J2	S1	
	Ⓒ48	B	NR	Bathroom	2'-4"	8'-0"	1 3/8"	SCWD	Swing Door	2	WD	---	J2	S5	
	Ⓒ49		NR	Family Room Ext Terrace Doors	5'-0" (Pair)	8'-0"	---	Alum/Glass	Pair Swing Door		---	---	---	---	Pair Insulated Glass Outswing Terrace Doors

Door Types



Legend	
FPSC	Fire Protected Self-Closing
HM	Hollow Metal
NR	Not Rated
SCWD	Solid-Core Wood Door

CLIENT	
STERLING PARK	
133 STERLING PLACE, SUITE 3A	
BROOKLYN, NY 11217	
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STRUCTURAL ENGINEER:	
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Tel: -	
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ARCHITECT OF RECORD	

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Rev	Date	Description
Revisions		
ACAD File Name: A10 Door Schedule.dwg		
PROJECT TITLE:		
RENOVATION & ADDITION		
FLOORS BAS, CEL, 1, 2, 3, PH, ROOF		
192 PRESIDENT STREET		
BROOKLYN, NY 11231		
Project Number:	JA2008SPDV1	
Drawn By:	DS	
Checked By:		
Date:	11/3/2008	
Issued For:		

Department of Buildings Approvals:

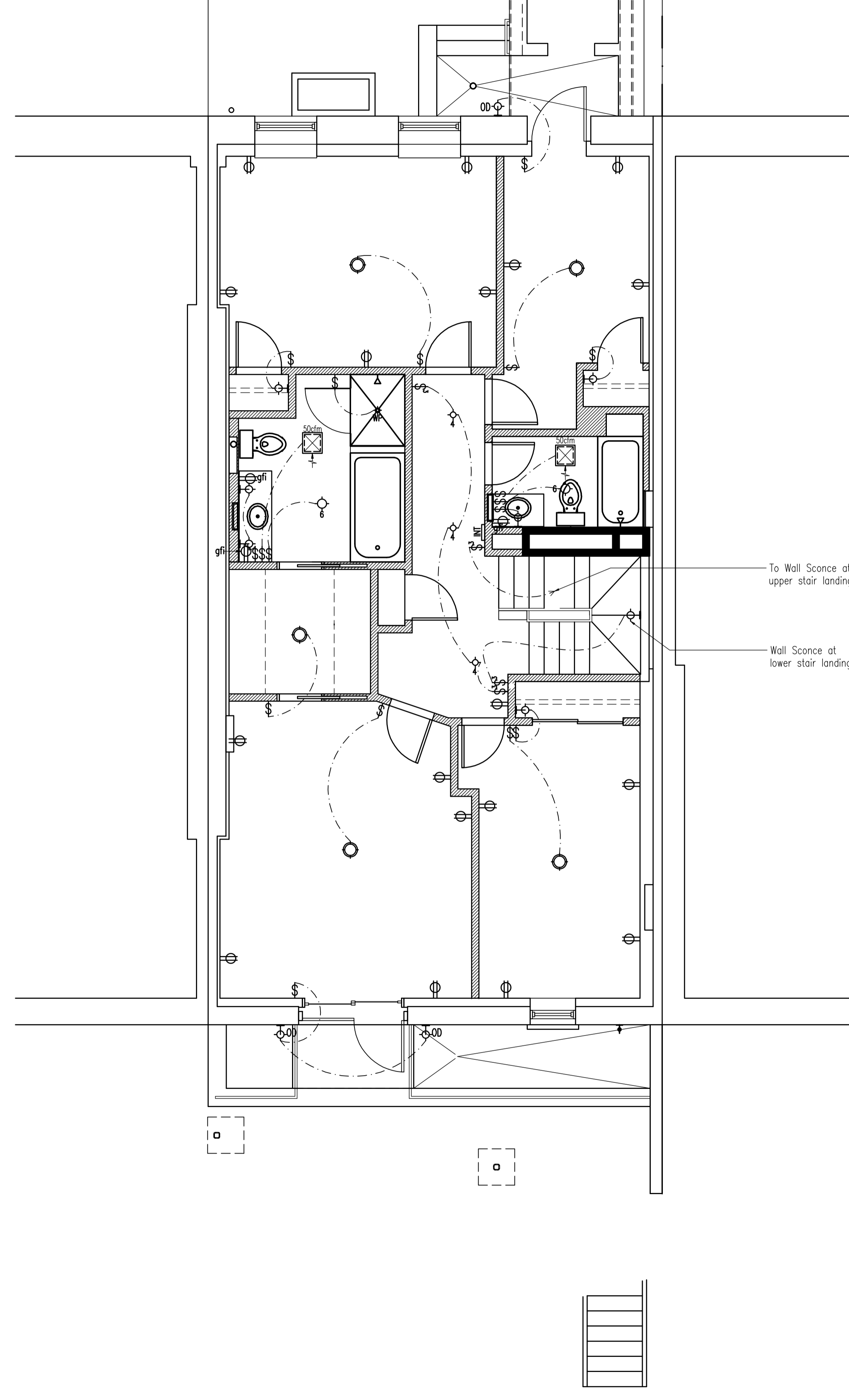
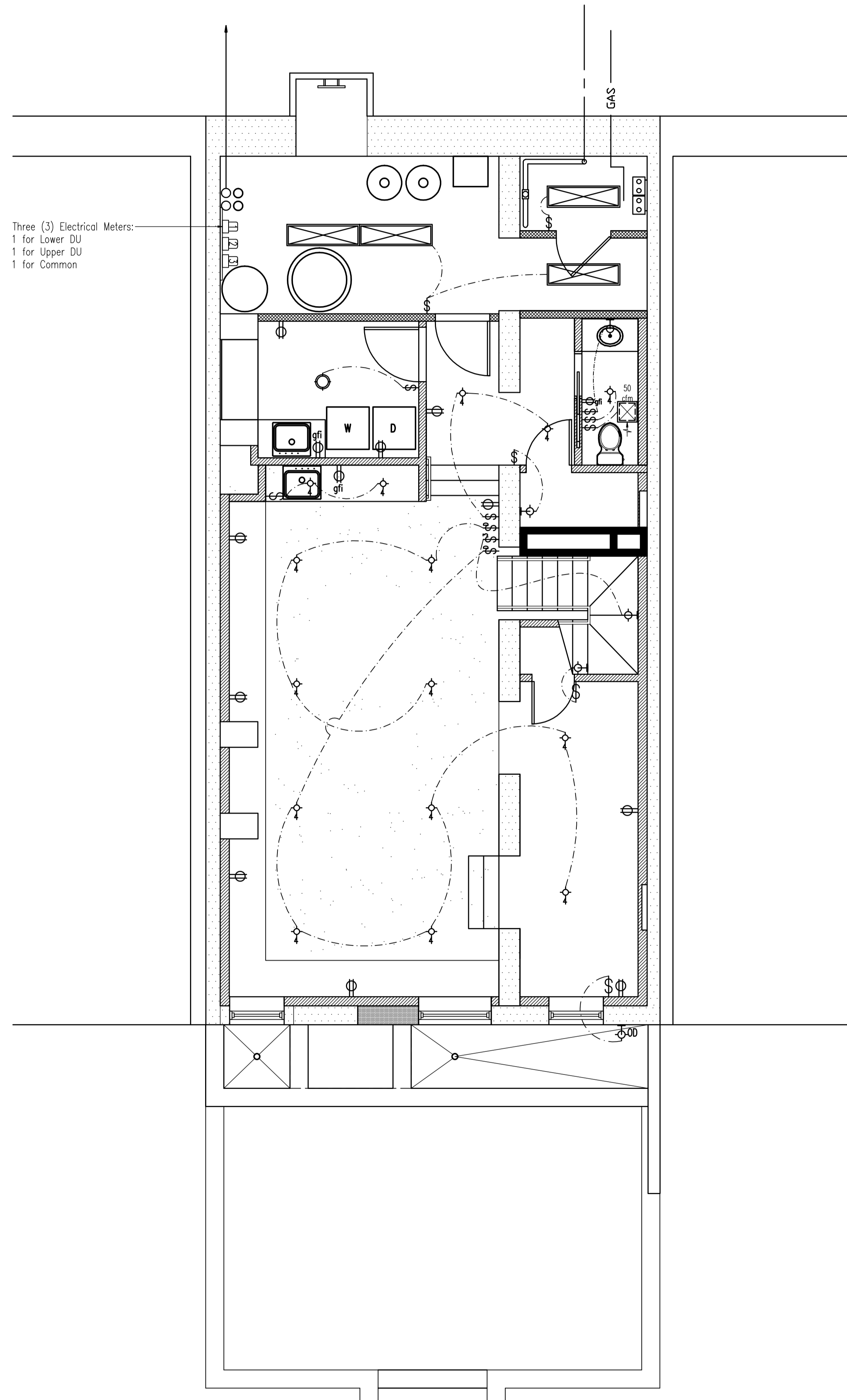
DRAWING TITLE:
DOOR SCHEDULE

SEAL: Drawing Number:

A10

Window Schedule										
	Window							FRAME		NOTES
Floor	Window No	Location	Width	Height	Area	Mat	Type	Jamb	Sill	
Cellar	C1	Residential Storage	3'-0"	2'-0"	6 SF	WD/GI	Awning			
	C2	Residential Storage	4'-0"	2'-0"	8 SF	WD/GI	Awning			
Basemt	B1	Bedroom #1	3'-5"	4'-0"	13.7 SF	WD/GI	Double Hung			New Replacement Window in existing Masonry Opening
	B2	Bedroom #1	3'-5"	4'-0"	13.7 SF	WD/GI	Double Hung			New Replacement Window in existing Masonry Opening
	B3	Bedroom #3	2'-6"	5'-0"	13 SF	WD/GI	Double Hung			New Replacement Window in modified window opening (former door opening)
1st Fl.	F1	Living Room	3'-6"	9'-6"	33.25 SF	WD/GI	Double Hung			New Replacement Windows in modified window opening (Window Opening Lowered)
	F2	Living Room	3'-6"	9'-6"	33.25 SF	WD/GI	Double Hung			New Replacement Windows in modified window opening (Window Opening Lowered)
2nd Fl.	S1	Living Room	3'-6"	5'-7"	19.54 SF	WD/GI	Double Hung			New Replacement Window in existing Masonry Opening
	S2	Living Room	3'-6"	5'-7"	19.54 SF	WD/GI	Double Hung			New Replacement Window in existing Masonry Opening
	S3	Living Room	3'-6"	5'-7"	19.54 SF	WD/GI	Double Hung			New Replacement Window in existing Masonry Opening
3rd Fl.	T1	Bedroom #1	3'-6"	5'-7"	19.54 SF	WD/GI	Double Hung			New Replacement Window in existing Masonry Opening
	T2	Bedroom #2	3'-6"	5'-7"	19.54 SF	WD/GI	Double Hung			New Replacement Window in existing Masonry Opening
	T3	Bedroom #2	3'-6"	5'-7"	19.54 SF	WD/GI	Double Hung			New Replacement Window in existing Masonry Opening
	T4	Bedroom #3	3'-0"	6'-3"	18.75 SF	WD/GI	Double Hung			New Replacement Window in existing Masonry Opening
	T5	Master Bedroom	3'-0"	6'-3"	18.75 SF	WD/GI	Double Hung			New Replacement Window in existing Masonry Opening
	T6	Master Bedroom	3'-0"	6'-3"	18.75 SF	WD/GI	Double Hung			New Replacement Window in existing Masonry Opening
	T7	Roof Terrace	4'-0"	3'-0"	12 SF	Alum/GI	Fixed Skylight			
	T8	Roof Terrace	4'-0"	3'-0"	12 SF	Alum/GI	Fixed Skylight			
Penthouse	P1	Roof Terrace	4'-0"	3'-0"	12 SF	Alum/GI	Fixed Skylight			
	P2	Roof Terrace	4'-0"	3'-0"	12 SF	Alum/GI	Fixed Skylight			
	P3	Family Room	7'-6" (3 Panels)	8'-0"	60 SF	WD/GI	T.B.D.			Based on Andersen. All Windows in new Penthouse to be double-glazed U-Value .28
	P4	Family Room	7'-6" (3 Panels)	8'-0"	60 SF	WD/GI	T.B.D.			Based on Andersen. All Windows in new Penthouse to be double-glazed U-Value .28
	P5	Bathroom	2'-6"	2'-11"	7.29 SF	WD/GI	Casement Wdw			Based on Andersen. All Windows in new Penthouse to be double-glazed U-Value .28
	P6	Family Room	10'-0"	2'-11"	29.17 SF	WD/GI	Cas/Pict/Cas			Based on Andersen. All Windows in new Penthouse to be double-glazed U-Value .28
	P7	Family Room	5'-0"	5'-0"	25 SF	Alum/GI	Skylight			Glass Pyramidal Skylight Max U-Value .5
	P8	Family Room	2'-6½"	3'-10½"L	9.5 SF	Alum/GI	Skylight			Velux FCM Skylight 3046 w/Comfortplus Low-E Glazing. U-Value .50
	P9	Family Room	2'-6½"	3'-10½"L	9.5 SF	Alum/GI	Skylight			Velux FCM Skylight 3046 w/Comfortplus Low-E Glazing. U-Value .50
	P10	Family Room	2'-6½"	3'-10½"L	9.5 SF	Alum/GI	Skylight			Velux FCM Skylight 3046 w/Comfortplus Low-E Glazing. U-Value .50
	P11	Family Room	2'-6½"	3'-10½"L	9.5 SF	Alum/GI	Skylight			Velux FCM Skylight 3046 w/Comfortplus Low-E Glazing. U-Value .50
	P12	Bathroom	1'-10½"	1'-10½"L	2 SF	Alum/GI	Skylight			Velux FCM Skylight 2222 w/Comfortplus Low-E Glazing. U-Value .50

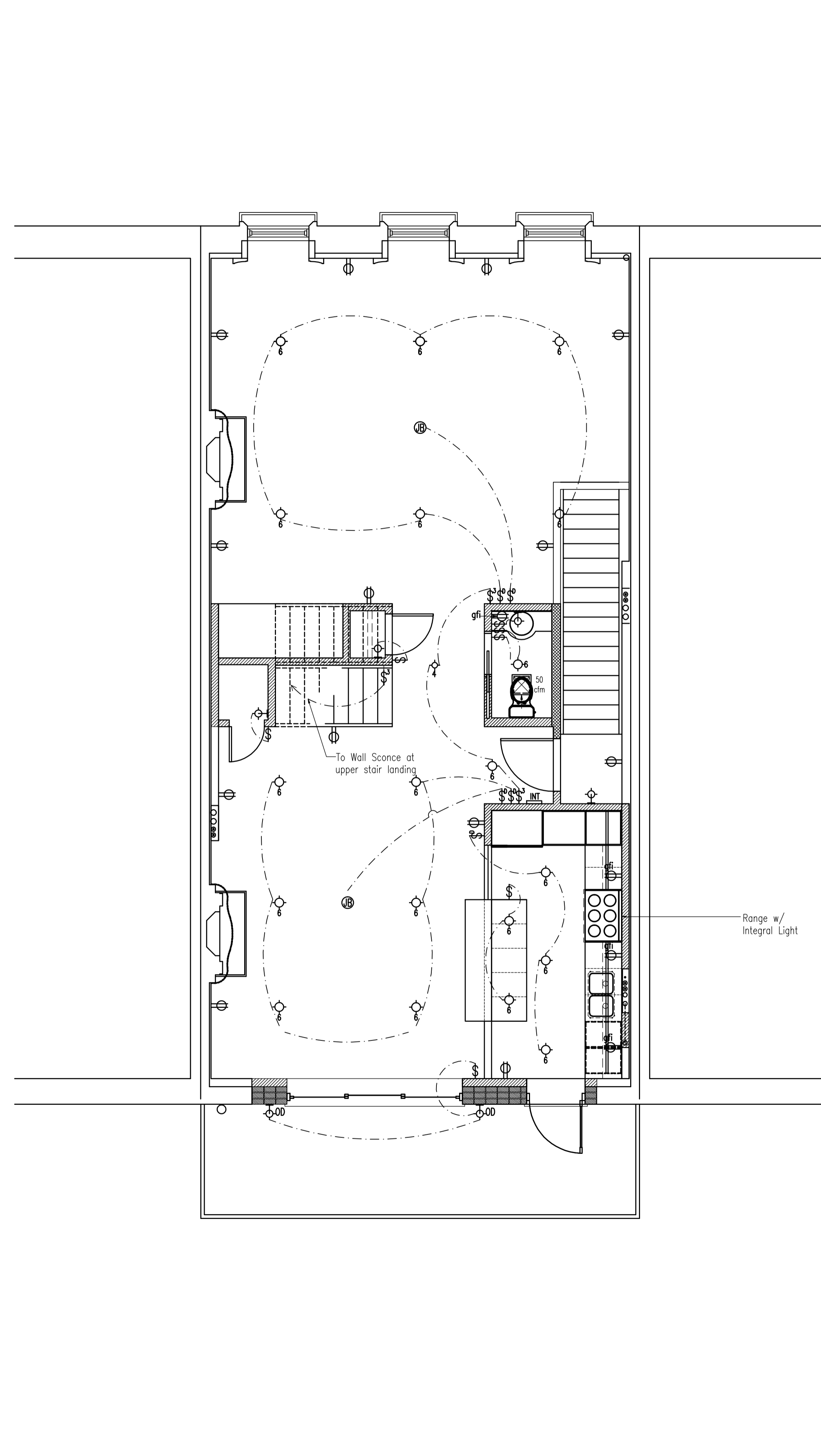
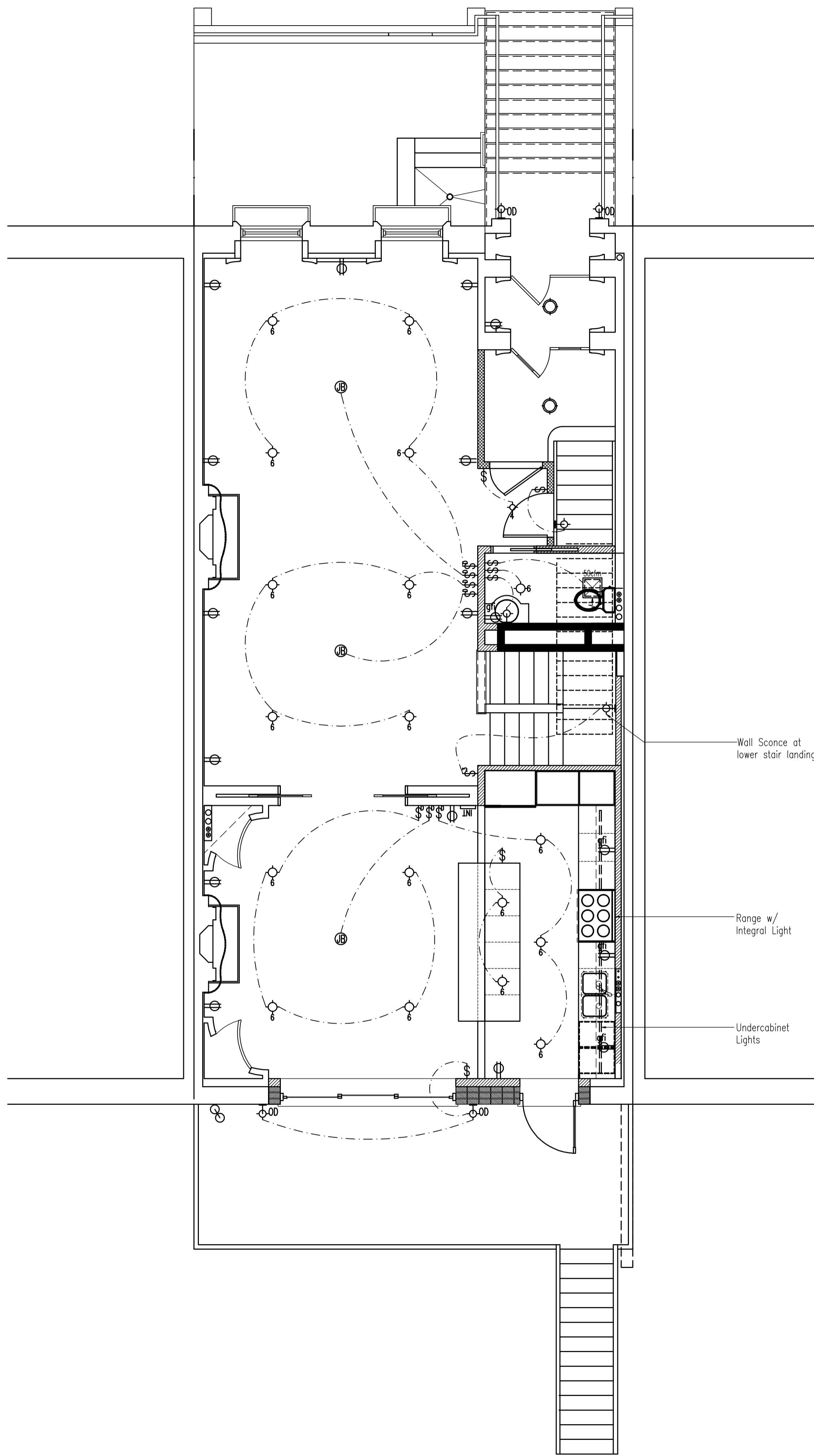
Legend		CLIENT
Almn	Aluminum	STERLING PARK 133 STERLING PLACE, SUITE 3A — BROOKLYN, NY 11217 Contact: JACOB ZUCKERMAN Tel: (617) 359-2620
GI	Glass	
WD	Wood	
NOTE: 1. Window Sizes are approximate and must be verified by GC prior to construction. 2. Windows to be provided by Owner, installed by GC. 3. Exact window type to be selected by Owner. 4. All windows in the Penthouse must be double-glazed for Quality Housing Zoning requirements. 5. All windows must comply w/NYS Energy Code.		MECHANICAL ENGINEER: — — Tel: —
		STRUCTURAL ENGINEER: — — Tel: —
		CODE/ZONING CONSULTANT: — — — Tel: 212-938-8000 —
		ARCHITECT OF RECORD
 Anzalone Architecture PLLC 332 Douglass St, Suite #2F Brooklyn, NY 11217 Tel: 347-220-1173 Fax: 347-214-0124 E-mail: james@jamesanzalone.com www.jamesanzalone.com James Ian Anzalone, AIA NYS RA Lic # 026010 		
Rev	Date	Description
Revisions		
ACAD File Name: A13 Window Schedule.dwg		
PROJECT TITLE:		
RENOVATION & ADDITION		
FLOORS BAS, CEL, 1, 2, 3, PH, ROOF		
192 PRESIDENT STREET		
BROOKLYN, NY 11231		
Project Number:	JA2008SPDV1	
Drawn By:	DS	
Checked By:		
Date:	11/3/2008	
Issued For:		
Department of Buildings Approvals:		DRAWING TITLE: WINDOW SCHEDULE
	SEAL:	Drawing Number:
		A12



Electrical Legend		CLIENT
	Existing Device to be Removed or Relocated (shown dashed typ)	STERLING PARK 133 STERLING PLACE, SUITE 3A — BROOKLYN, NY 11217 Contact: JACOB ZUCKERMAN Tel: (617) 359-2620
N	New Device	
R	Relocated Device	
	Approved Type Combination Smoke Carbon Monoxide Detector	
	Duplex Outlet	
	Duplex Ground Fault Interrupter Outlet—Wet Areas	
	A/C Outlet	
	Triplex Outlet	
	Quadplex Outlet	
	Telephone Jack	
	Data Jack. Numeral indicates Number of Data Ports	MECHANICAL ENGINEER: — — Tel: —
	Single Pole Switch	STRUCTURAL ENGINEER: — — Tel: —
	Three Pole Switch	CODE/ZONING CONSULTANT: — — — Tel: 212-938-8000
	Dimmer Switch	ARCHITECT OF RECORD
	Jamb Switch	Anzalone Architecture PLLC 332 Douglass St, Suite #2F Brooklyn, NY 11217 Tel: 347-220-1173 Fax: 347-214-0124 E-mail: james@jamesanzalone.com www.jamesanzalone.com James Ian Anzalone, AIA NYS RA Lic # 026010
	Thermostat	
	Cable Jack	
	Door Release Mechanism	
	Electrical Panel	
	Fuse Panel	
	Intercom	
	Telephone Panel	
	Security Alarm Panel	
	Electric Wall-Mounted Clock	
	3" Recessed Low Voltage Downlight	
	4" Recessed Downlight	
	5" Recessed Downlight	
	6" Recessed Downlight	
	Approved Waterproof Downlight	
	Wall Sconce	
	Exterior Wall Sconce	
	Swing Arm Wall Sconce	
	Large Pendant Fixture Anchor to Building Structure	
	Small Pendant Fixture	
	Junction Box for future Chandelier by Owner	
	Surface Mounted Light Fixture	
	Recessed Halogen Wall Washer	
	Exhaust Fan	
	Heat Lamp	
	Ceiling Fan	
	Chandelier Anchor to Building Structure	
	Flat Panel Television	
	2x4 Recessed Fluorescent Light Fixture	
	Track Lighting	
	MEA/BSA Approved Internally Illuminated Exit Sign	
	MEA/BSA Approved Internally Illuminated Directional Exit Sign	
	2-Head BSA/MEA-Approved Emergency Light with Battery Back-up	
	3-Head BSA/MEA-Approved Emergency Light with Battery Back-up	
Rev	Date	Description
Revisions		
ACAD File Name: E1 Electrical Plan.dwg		
PROJECT TITLE:		
RENOVATION & ADDITION		
FLOORS BAS, CEL, 1, 2, 3, PH, ROOF		
192 PRESIDENT STREET		
BROOKLYN, NY 11231		
Project Number:	JA2008SPDV1	
Drawn By:	DS	
Checked By:		
Date:	12/30/2008	
Issued For:		
DRAWING TITLE:		
ELECTRICAL PLAN		
SEAL:	Drawing Number:	
		E1

1 Cellar Electrical Plan
 SCALE: 1/4" = 1'-0"

2 Basement Electrical Plan
 SCALE: 1/4" = 1'-0"

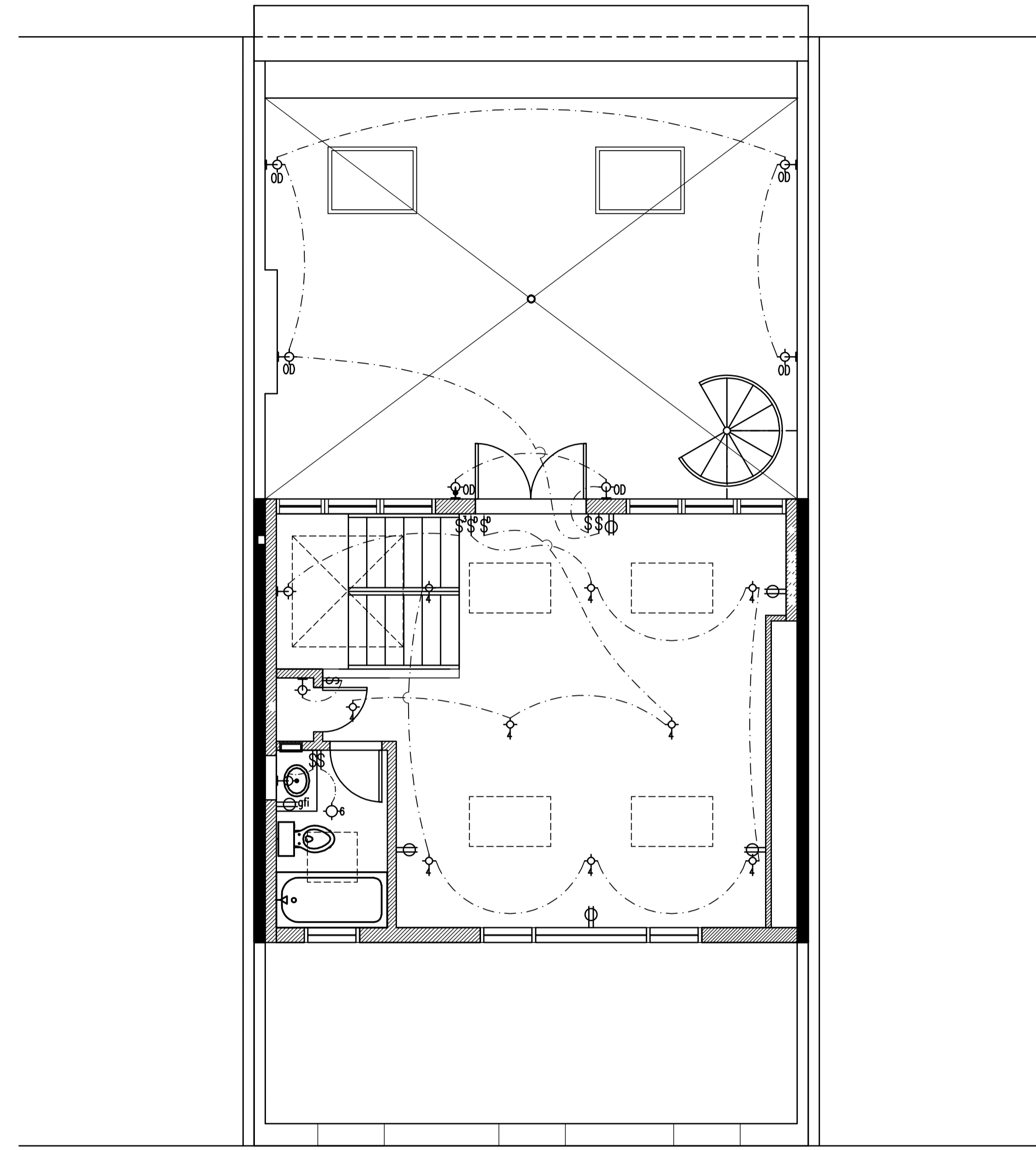
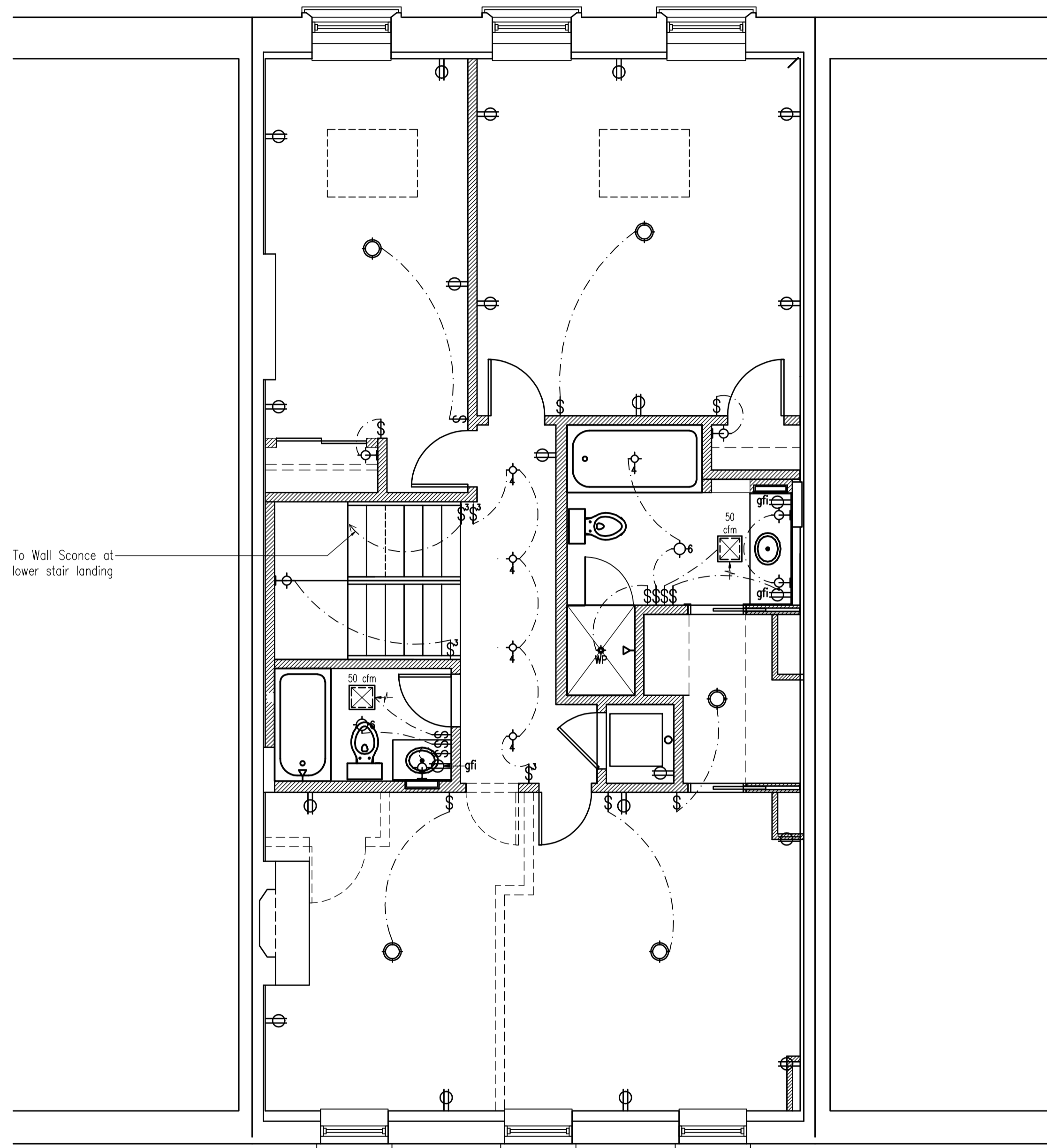


Electrical Legend	
	Existing Device to be Removed or Relocated (shown dashed typ)
N	New Device
R	Relocated Device
	Approved Type Combination Smoke Carbon Monoxide Detector
	Duplex Outlet
	Duplex Ground Fault Interrupter Outlet-Wet Areas
	A/C Outlet
	Triplex Outlet
	Quadplex Outlet
	Telephone Jack
	Data Jack. Numeral indicates Number of Data Ports
	Single Pole Switch
	Three Pole Switch
	Dimmer Switch
	Jamb Switch
	Thermostat
	Cable Jack
	Door Release Mechanism
	Electrical Panel
	Fuse Panel
	Intercom
	Telephone Panel
	Security Alarm Panel
	Electric Wall-Mounted Clock
	3" Recessed Low Voltage Downlight
	4" Recessed Downlight
	5" Recessed Downlight
	6" Recessed Downlight
	Approved Waterproof Downlight
	Wall Sconce
	Exterior Wall Sconce
	Swing Arm Wall Sconce
	Large Pendant Fixture Anchor to Building Structure
	Small Pendant Fixture
	Junction Box for future Chandelier by Owner
	Surface Mounted Light Fixture
	Recessed Halogen Wall Washer
	Exhaust Fan
	Heat Lamp
	Ceiling Fan
	Chandelier Anchor to Building Structure
	Flat Panel Television
	2x4 Recessed Fluorescent Light Fixture
	Track Lighting
	MEA/BSA Approved Internally Illuminated Exit Sign
	MEA/BSA Approved Internally Illuminated Directional Exit Sign
	2-Head BSA/MEA-Approved Emergency Light with Battery Back-up
	3-Head BSA/MEA-Approved Emergency Light with Battery Back-up

CLIENT		
STERLING PARK		
133 STERLING PLACE, SUITE 3A		
BROOKLYN, NY 11217		
Contact: JACOB ZUCKERMAN		
Tel: (617) 359-2620		
MECHANICAL ENGINEER:		
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Tel: -		
STRUCTURAL ENGINEER:		
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Tel: -		
CODE/ZONING CONSULTANT:		
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Tel: 212-938-8000		
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James Ian Anzalone, AIA NYS RA Lic # 026010		
Rev	Date	Description
Revisions		
ACAD File Name: E2 Electrical Plan.dwg		
PROJECT TITLE:		
RENOVATION & ADDITION		
FLOORS BAS, CEL, 1, 2, 3, PH, ROOF		
192 PRESIDENT STREET		
BROOKLYN, NY 11231		
Project Number:	JA2008SPDV1	
Drawn By:	DS	
Checked By:		
Date:	12/30/2008	
Issued For:		
DRAWING TITLE:		
ELECTRICAL PLAN		
SEAL:	Drawing Number:	
		E2

1 First Floor Electrical Plan
SCALE: 1/4" = 1'-0"

2 Second Floor Electrical Plan
SCALE: 1/4" = 1'-0"

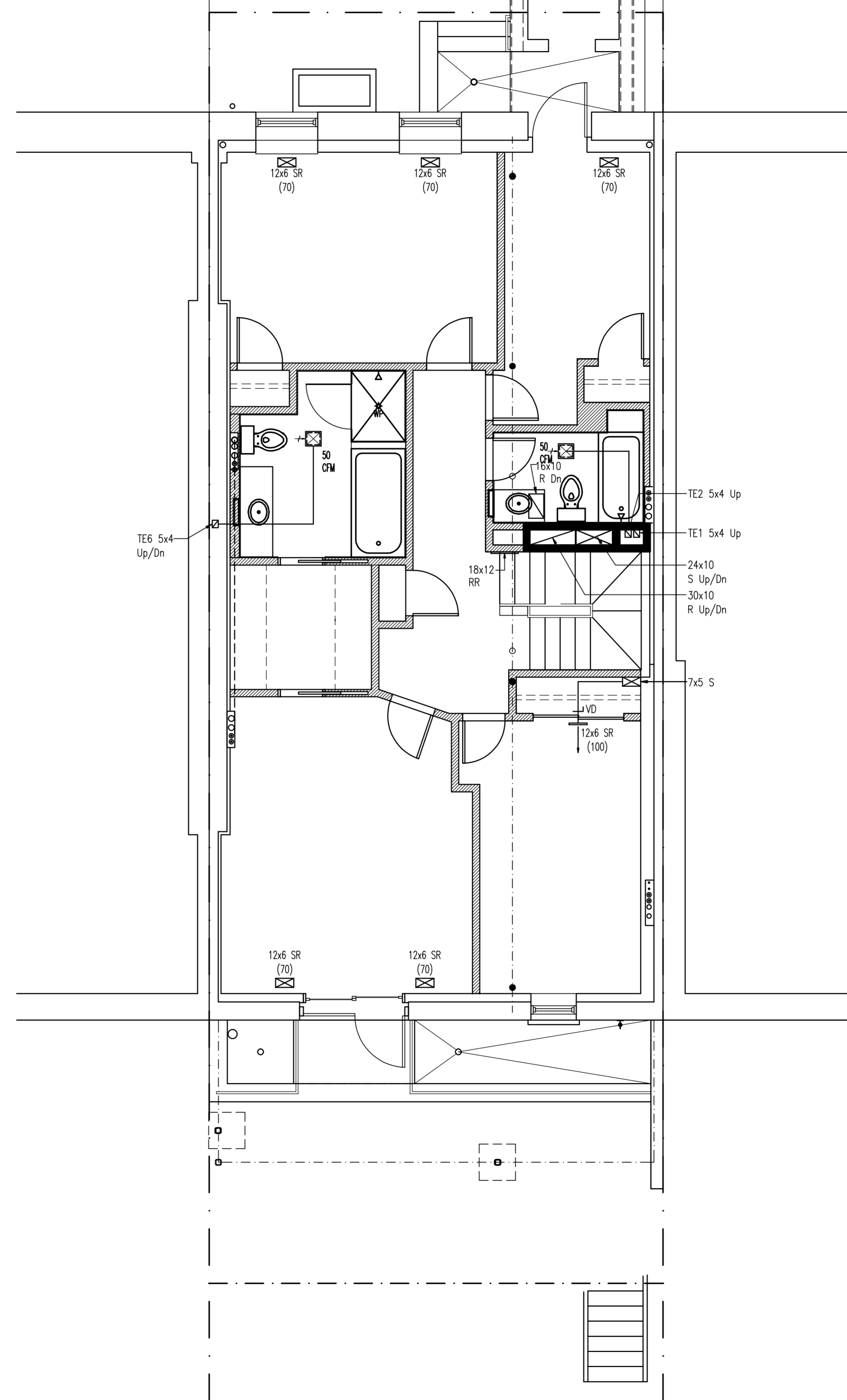
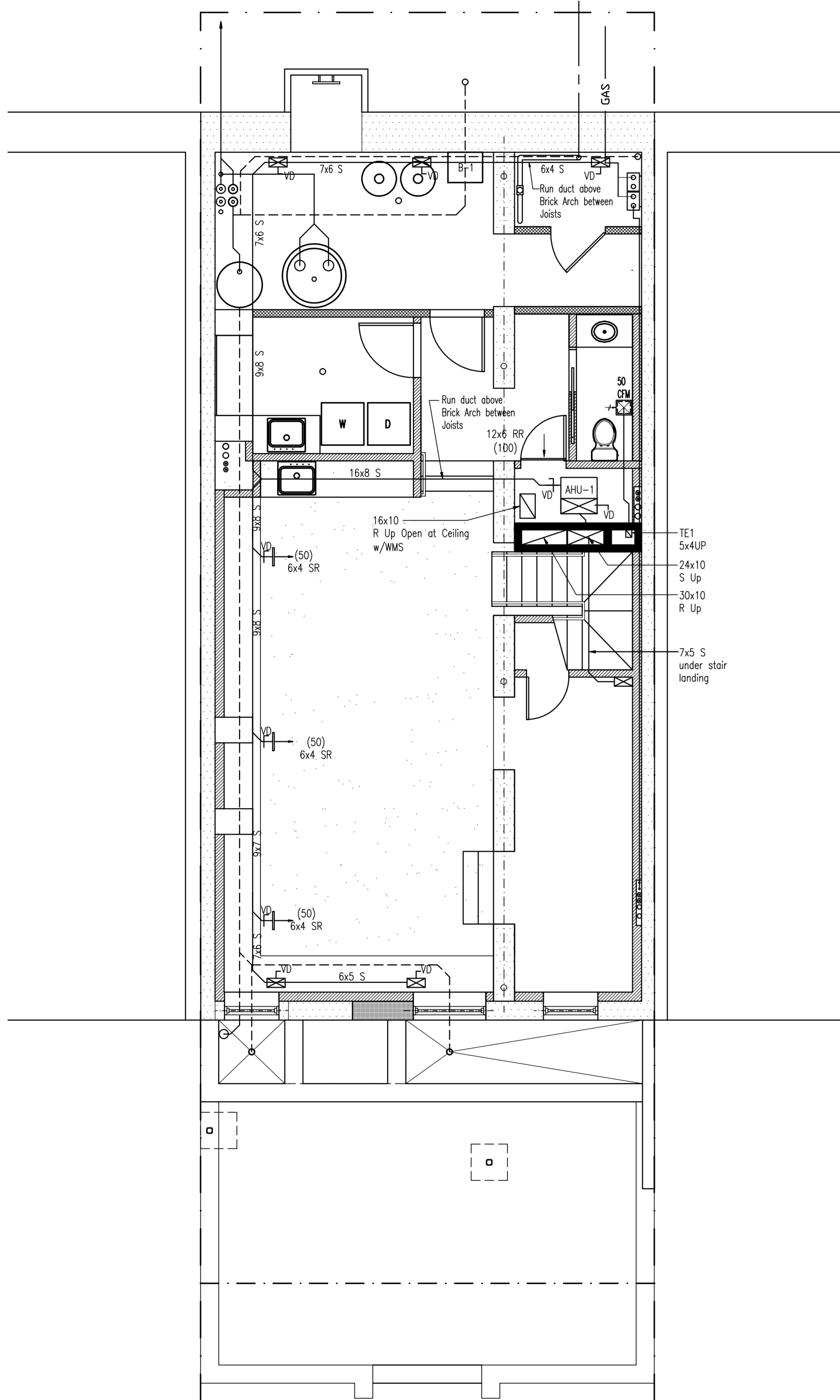


Electrical Legend		CLIENT
	Existing Device to be Removed or Relocated (shown dashed typ)	STERLING PARK 133 STERLING PLACE, SUITE 3A — BROOKLYN, NY 11217 Contact: JACOB ZUCKERMAN Tel: (617) 359-2620
N	New Device	MECHANICAL ENGINEER: — — Tel: —
R	Relocated Device	STRUCTURAL ENGINEER: — — Tel: —
	Approved Type Combination Smoke Carbon Monoxide Detector	CODE/ZONING CONSULTANT: — — Tel: 212-938-8000
	Duplex Outlet	ARCHITECT OF RECORD
	Duplex Ground Fault Interrupter Outlet—Wet Areas	Anzalone Architecture PLLC 332 Douglass St, Suite #2F Brooklyn, NY 11217 Tel: 347-220-1173 Fax: 347-214-0124 E-mail: james@jamesanzalone.com www.jamesanzalone.com James Ian Anzalone, AIA NYS RA Lic # 026010
	A/C Outlet	
	Triplex Outlet	
	Quadplex Outlet	
	Telephone Jack	
	Data Jack. Numeral indicates Number of Data Ports	
	Single Pole Switch	
	Three Pole Switch	
	Dimmer Switch	
	Jamb Switch	
	Thermostat	
	Cable Jack	
	Door Release Mechanism	
	Electrical Panel	
	Fuse Panel	
	Intercom	
	Telephone Panel	
	Security Alarm Panel	
	Electric Wall-Mounted Clock	
	3" Recessed Low Voltage Downlight	
	4" Recessed Downlight	
	5" Recessed Downlight	
	6" Recessed Downlight	
	Approved Waterproof Downlight	
	Wall Sconce	
	Exterior Wall Sconce	
	Swing Arm Wall Sconce	
	Large Pendant Fixture Anchor to Building Structure	
	Small Pendant Fixture	
	Junction Box for future Chandelier by Owner	
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	Recessed Halogen Wall Washer	
	Exhaust Fan	
	Heat Lamp	
	Ceiling Fan	
	Chandelier Anchor to Building Structure	
	Flat Panel Television	
	2x4 Recessed Fluorescent Light Fixture	
	Track Lighting	
	MEA/BSA Approved Internally Illuminated Exit Sign	
	MEA/BSA Approved Internally Illuminated Directional Exit Sign	
	2-Head BSA/MEA-Approved Emergency Light with Battery Back-up	
	3-Head BSA/MEA-Approved Emergency Light with Battery Back-up	

Rev	Date	Description
Revisions		
ACAD File Name:		
E3 Electrical Plan.dwg		
PROJECT TITLE:		
RENOVATION & ADDITION		
FLOORS BAS, CEL, 1, 2, 3, PH, ROOF		
192 PRESIDENT STREET		
BROOKLYN, NY 11231		
Project Number:	JA2008SPDV1	
Drawn By:	DS	
Checked By:		
Date:	12/30/2008	
Issued For:		
DRAWING TITLE:		
ELECTRICAL PLAN		
SEAL:	Drawing Number:	
	E3	

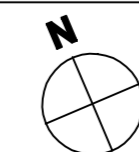
1 Third Floor Electrical Plan
SCALE: 1/4" = 1'-0"

2 Penthouse Electrical Plan
SCALE: 1/4" = 1'-0"



1 Cellar Mechanical Plan
SCALE: 1/4" = 1'-0"

2 Basement Mechanical Plan
SCALE: 1/4" = 1'-0"



CLIENT

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MECHANICAL ENGINEER:

—
—
Tel: —

STRUCTURAL ENGINEER:

—
—
Tel: —

CODE/ZONING CONSULTANT:

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—
Tel: 212-938-8000

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NYS RA Lic # 026010

Rev	Date	Description

Revisions

ACAD File Name:
M1 Mechanical Plans.dwg

PROJECT TITLE:

RENOVATION & ADDITION
FLOORS BAS, CEL, 1, 2, 3, PH, ROOF
192 PRESIDENT STREET
BROOKLYN, NY 11231

Project Number: JA2008SPDV1
Drawn By: DS
Checked By:
Date: 4/21/2009
Issued For:

Department of Buildings Approvals:

DRAWING TITLE:
MECH PLANS-CEL & BAS

SEAL: Drawing Number:

M1

CLIENT

STERLING PARK
 133 STERLING PLACE, SUITE 3A
 —
 BROOKLYN, NY 11217
 Contact: JACOB ZUCKERMAN
 Tel: (617) 359-2620

MECHANICAL ENGINEER:

—
 —
 Tel: —

STRUCTURAL ENGINEER:

—
 —
 Tel: —

CODE/ZONING CONSULTANT:

—
 —
 —

Tel: 212-938-8000

ARCHITECT OF RECORD

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James Ian Anzalone, AIA
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Rev	Date	Description
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Revisions

ACAD File Name:
 M2 Mechanical Plans.dwg

PROJECT TITLE:

RENOVATION & ADDITION
 FLOORS BAS, CEL, 1, 2, 3, PH, ROOF
 192 PRESIDENT STREET
 BROOKLYN, NY 11231

Project Number:	JA2008SPDV1
Drawn By:	DS
Checked By:	
Date:	4/21/2009
Issued For:	

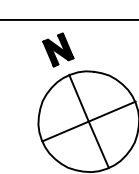
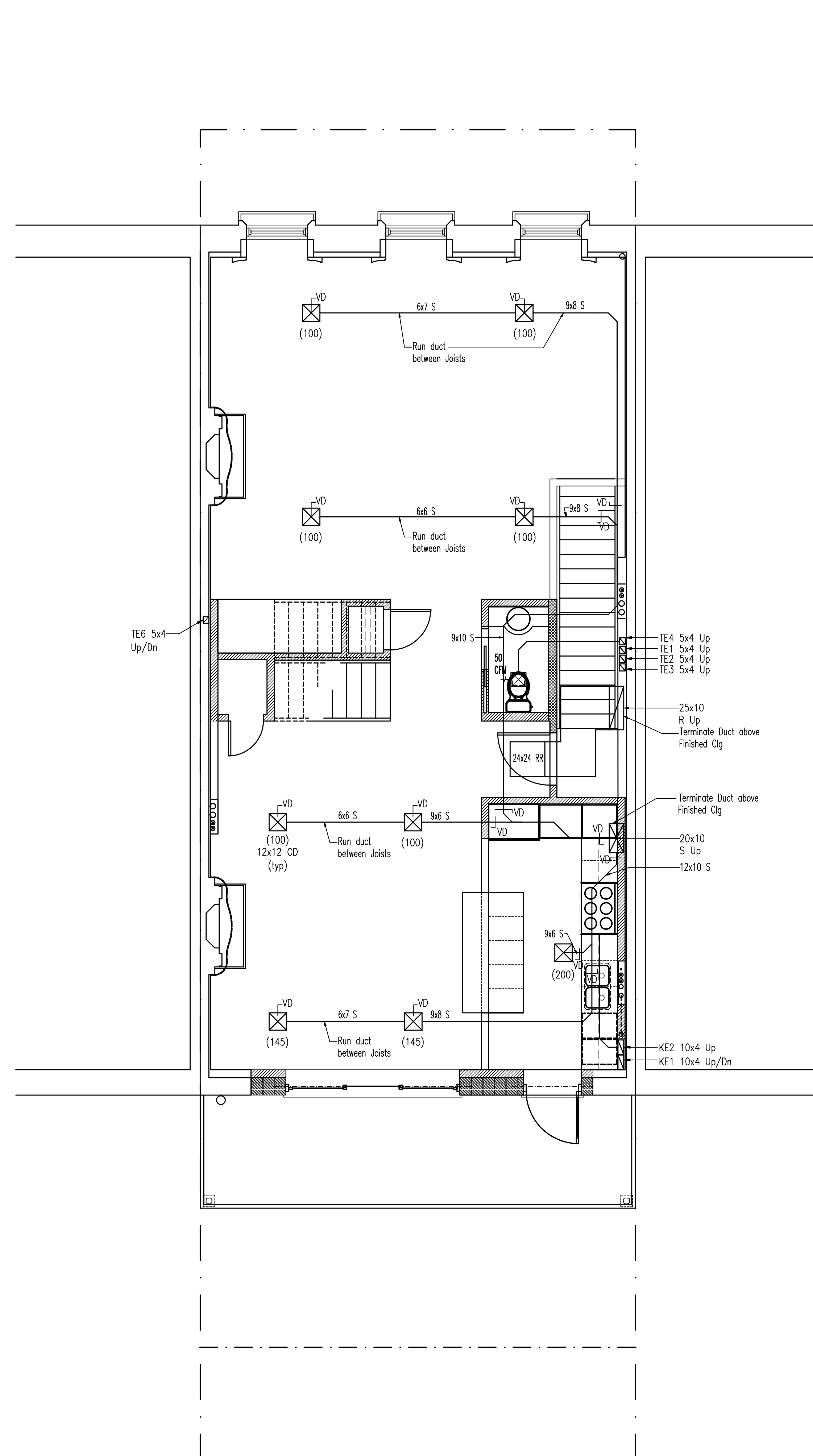
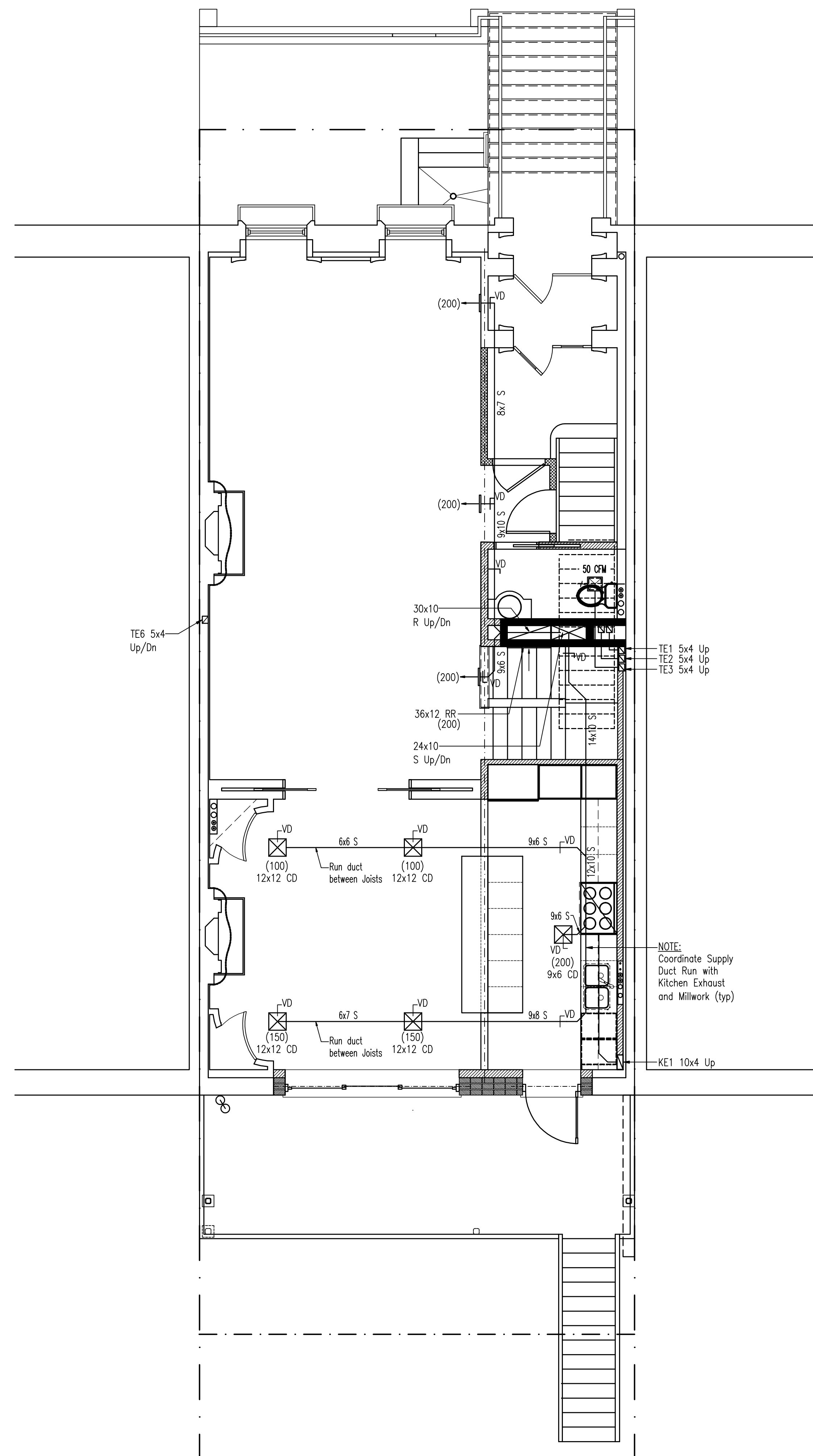
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MECH PLANS-1 & 2

SEAL:

Drawing Number:

M2



Department of Buildings Approvals:

SEAL:

CLIENT

STERLING PARK
 133 STERLING PLACE, SUITE 3A
 —
 BROOKLYN, NY 11217
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MECHANICAL ENGINEER:

—
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STRUCTURAL ENGINEER:

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Tel: 212-938-8000

ARCHITECT OF RECORD

**Anzalone
 Architecture PLLC**

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James Ian Anzalone, AIA
 NYS RA Lic # 026010

Rev	Date	Description

Revisions

ACAD File Name:
 M3 Mechanical Plans.dwg

PROJECT TITLE:

RENOVATION & ADDITION

FLOORS BAS, CEL, 1, 2, 3, PH, ROOF
 192 PRESIDENT STREET
 BROOKLYN, NY 11231

Project Number: JA2008SPDV1

Drawn By: DS

Checked By:

Date: 4/21/2009

Issued For:

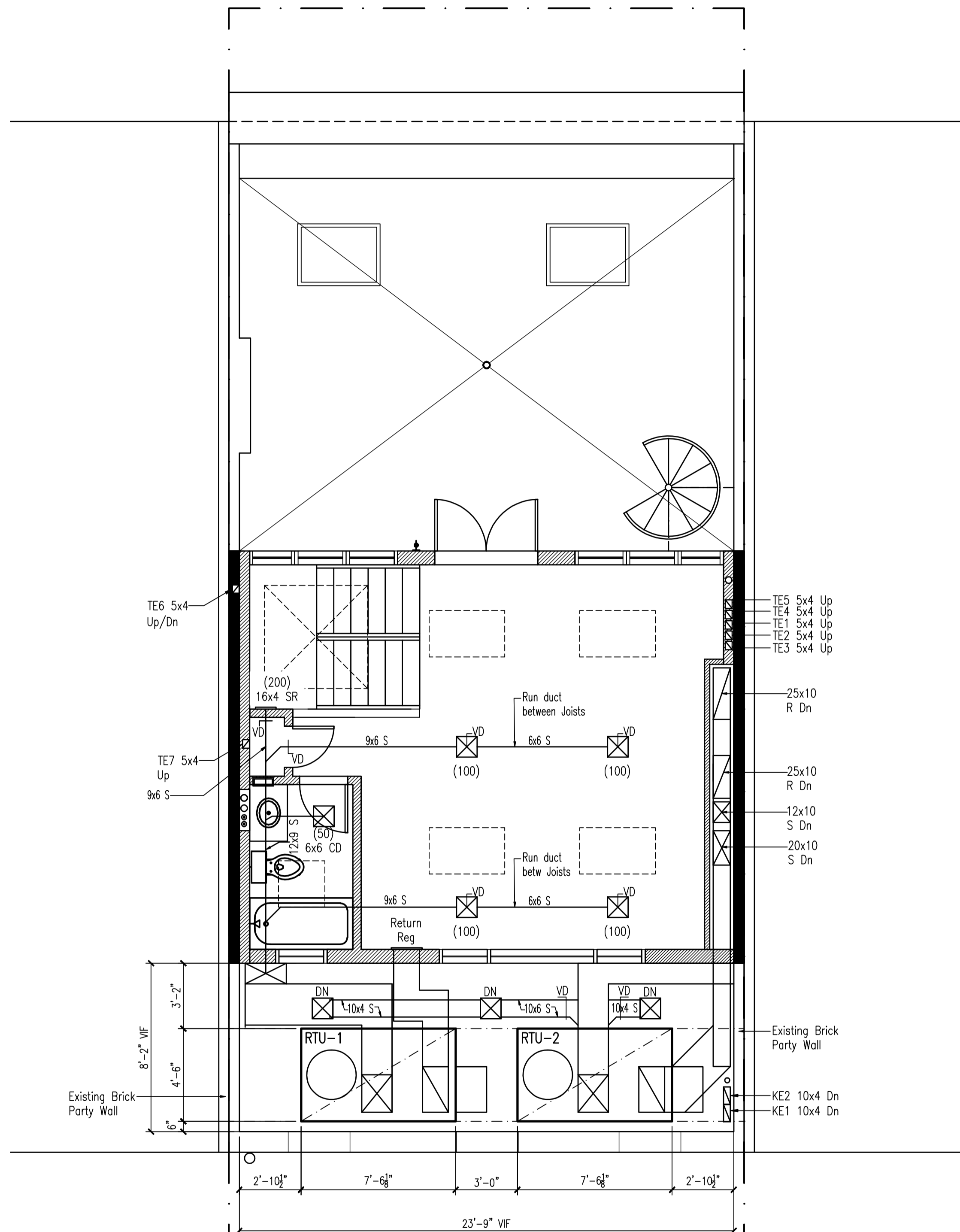
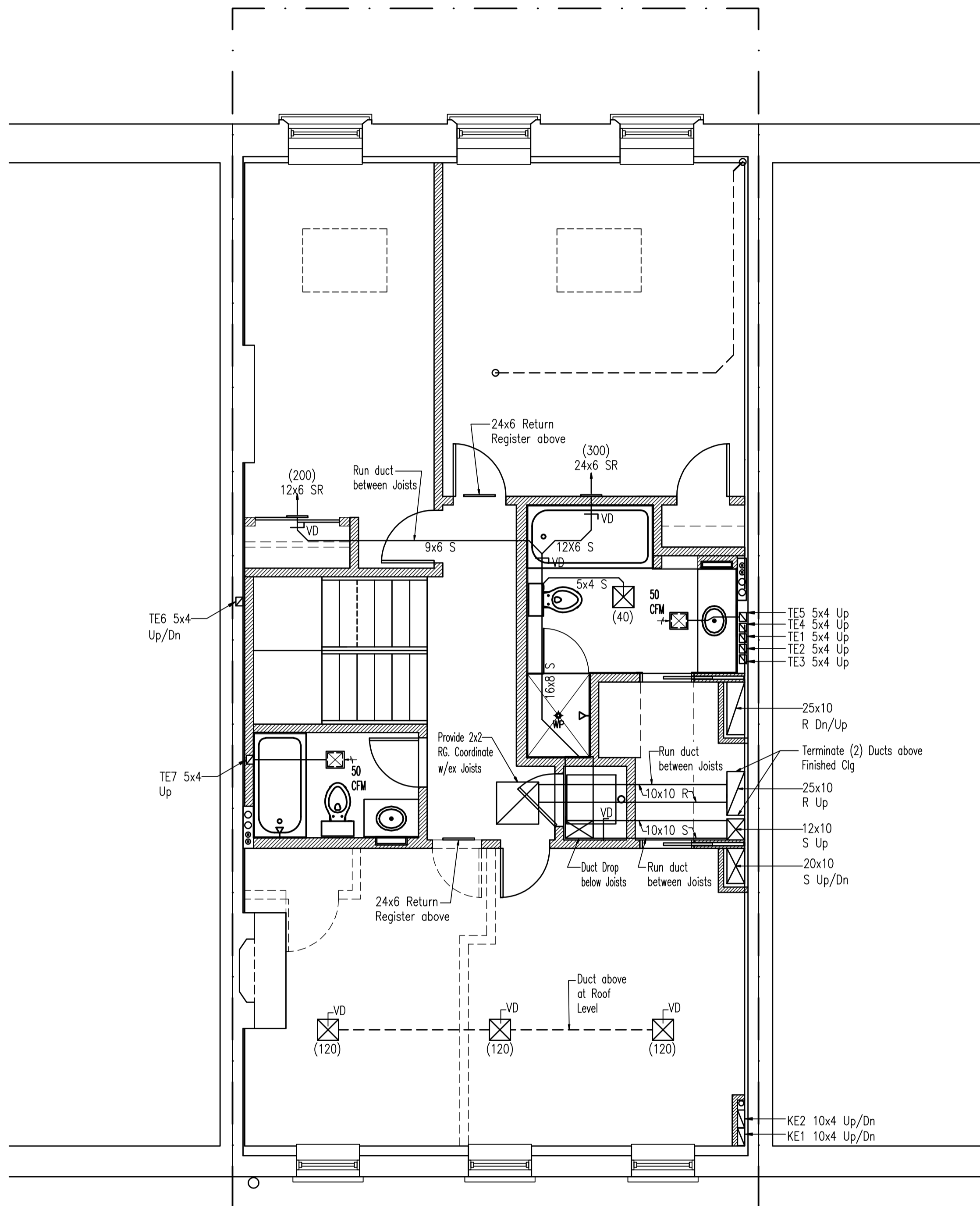
DRAWING TITLE:

MECH PLANS-3 & PH

SEAL:

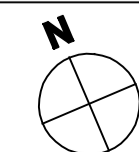
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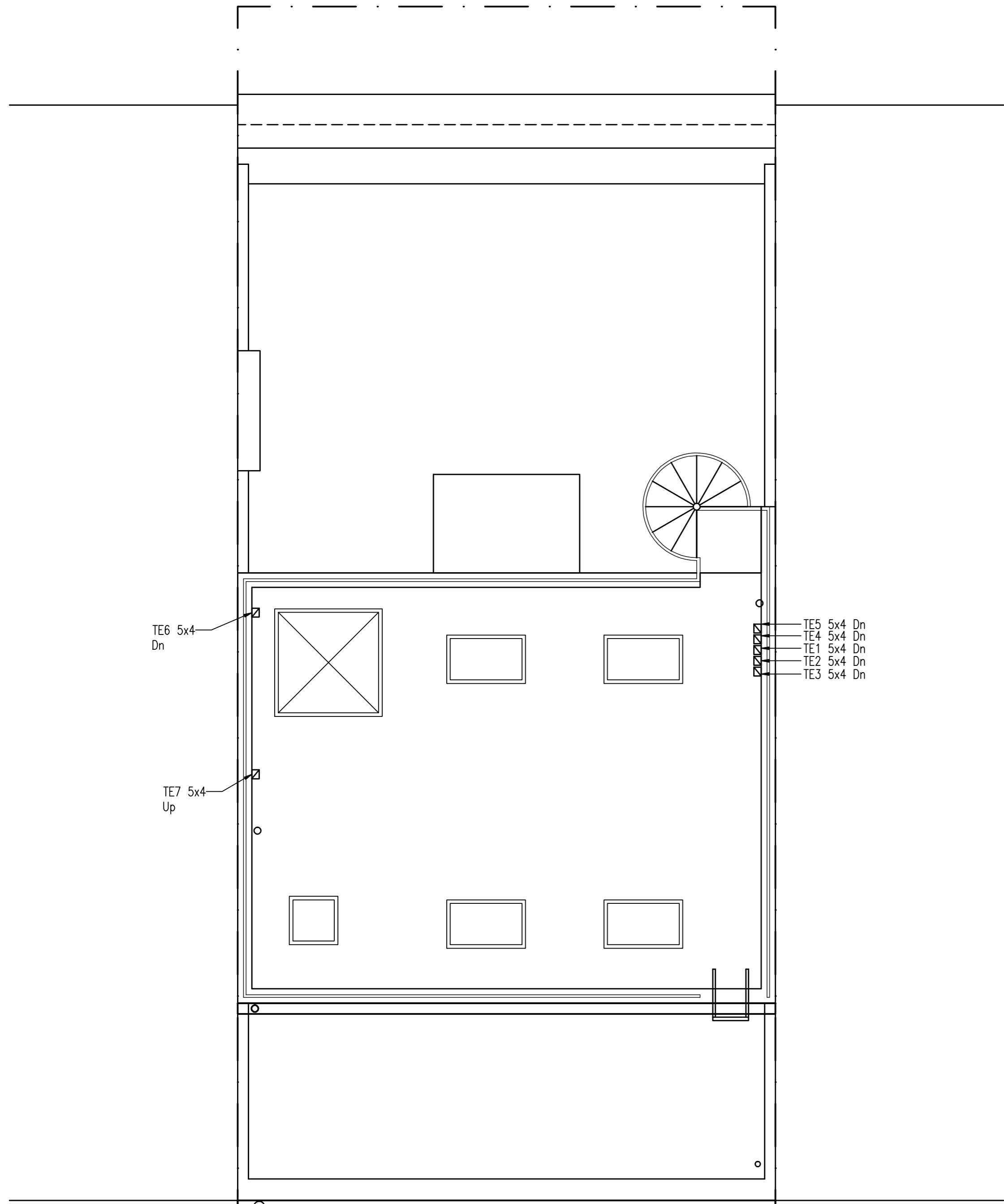
M3



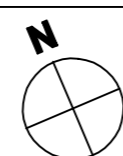
1 Third Mechanical Plan
 SCALE: 1/4" = 1'-0"

2 Penthouse Mechanical Plan
 SCALE: 1/4" = 1'-0"





1 Roof Mechanical Plan
SCALE: 1/4" = 1'-0"



CLIENT

STERLING PARK
133 STERLING PLACE, SUITE 3A
—
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Contact: JACOB ZUCKERMAN
Tel: (617) 359-2620

MECHANICAL ENGINEER:

—
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Tel: —

STRUCTURAL ENGINEER:

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—
Tel: —

CODE/ZONING CONSULTANT:

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Rev	Date	Description
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Revisions

ACAD File Name:
M4 Mechanical Plans.dwg

PROJECT TITLE:

RENOVATION & ADDITION
FLOORS BAS, CEL, 1, 2, 3, PH, ROOF
192 PRESIDENT STREET
BROOKLYN, NY 11231

Project Number:	JA2008SPDV1
Drawn By:	DS
Checked By:	
Date:	4/21/2009
Issued For:	

Department of Buildings Approvals:

DRAWING TITLE:

MECHANICAL PLAN-ROOF

SEAL: Drawing Number:

M4

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ARCHITECT OF RECORD

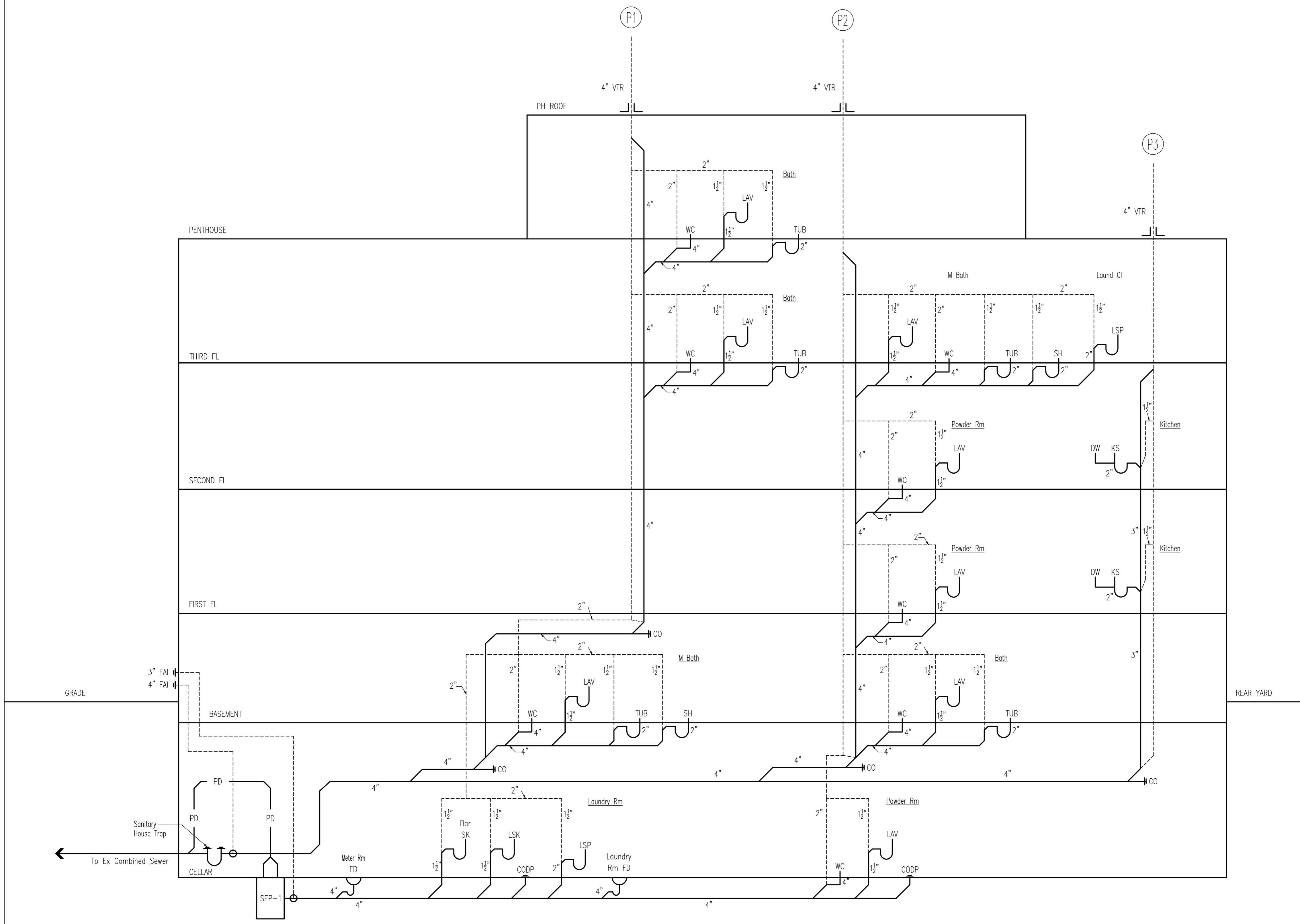
Anzalone Architecture PLLC

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Rev	Date	Description

Rev	Date	Description
Revisions		
ACAD File Name:		
P1 Plumbing Riser.dwg		
PROJECT TITLE:		
RENOVATION & ADDITION		
FLOORS BAS, CEL, 1, 2, 3, PH, ROOF		
192 PRESIDENT STREET		
BROOKLYN, NY 11231		
Project Number:	JA2008SPDV1	
Drawn By:	DS	
Checked By:		
Date:	11/3/2008	
Issued For:		



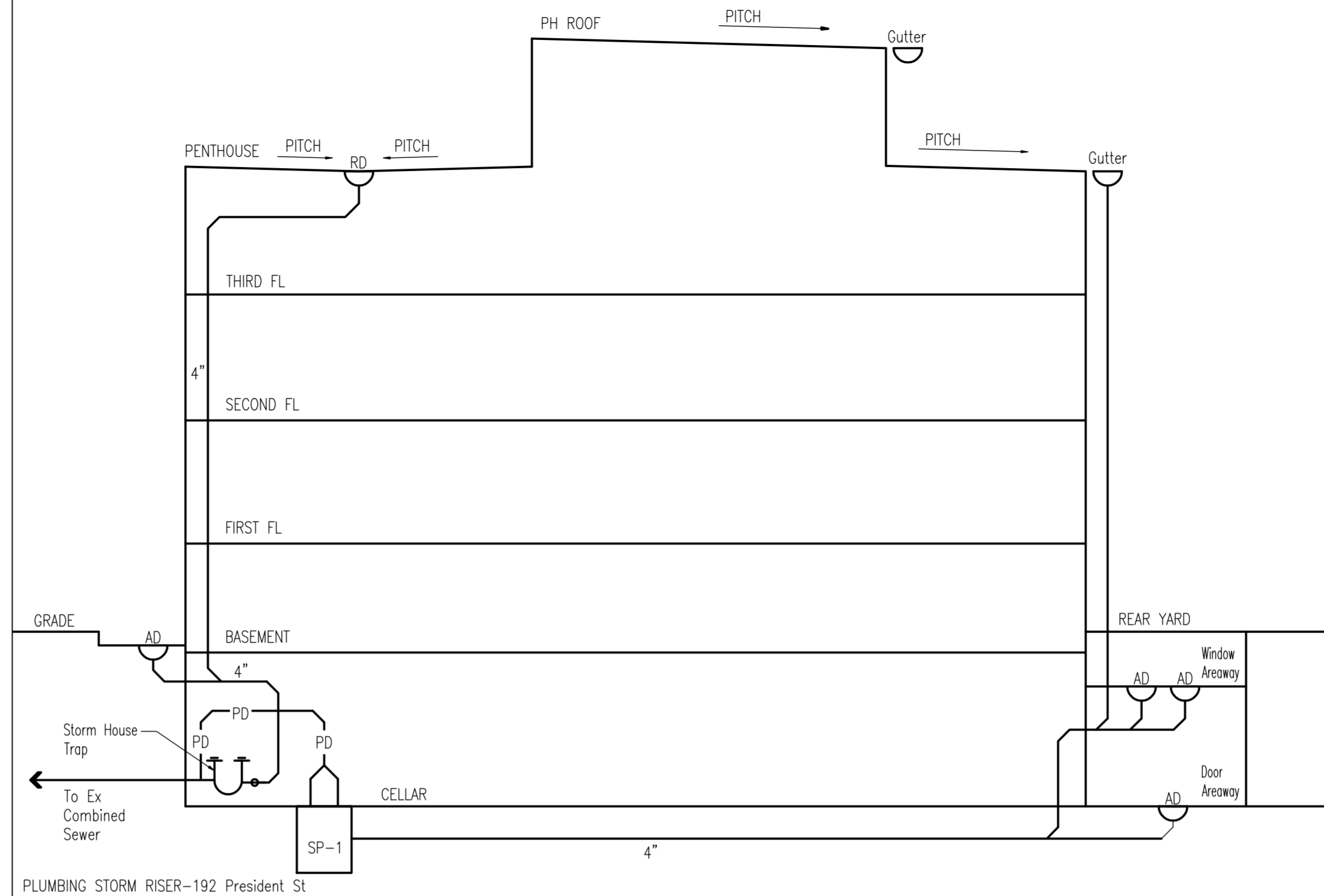
PLUMBING SANITARY RISER-192 President St

1 Plumbing Sanitary Riser Diagram
 SCALE: 1/4" = 1'-0"

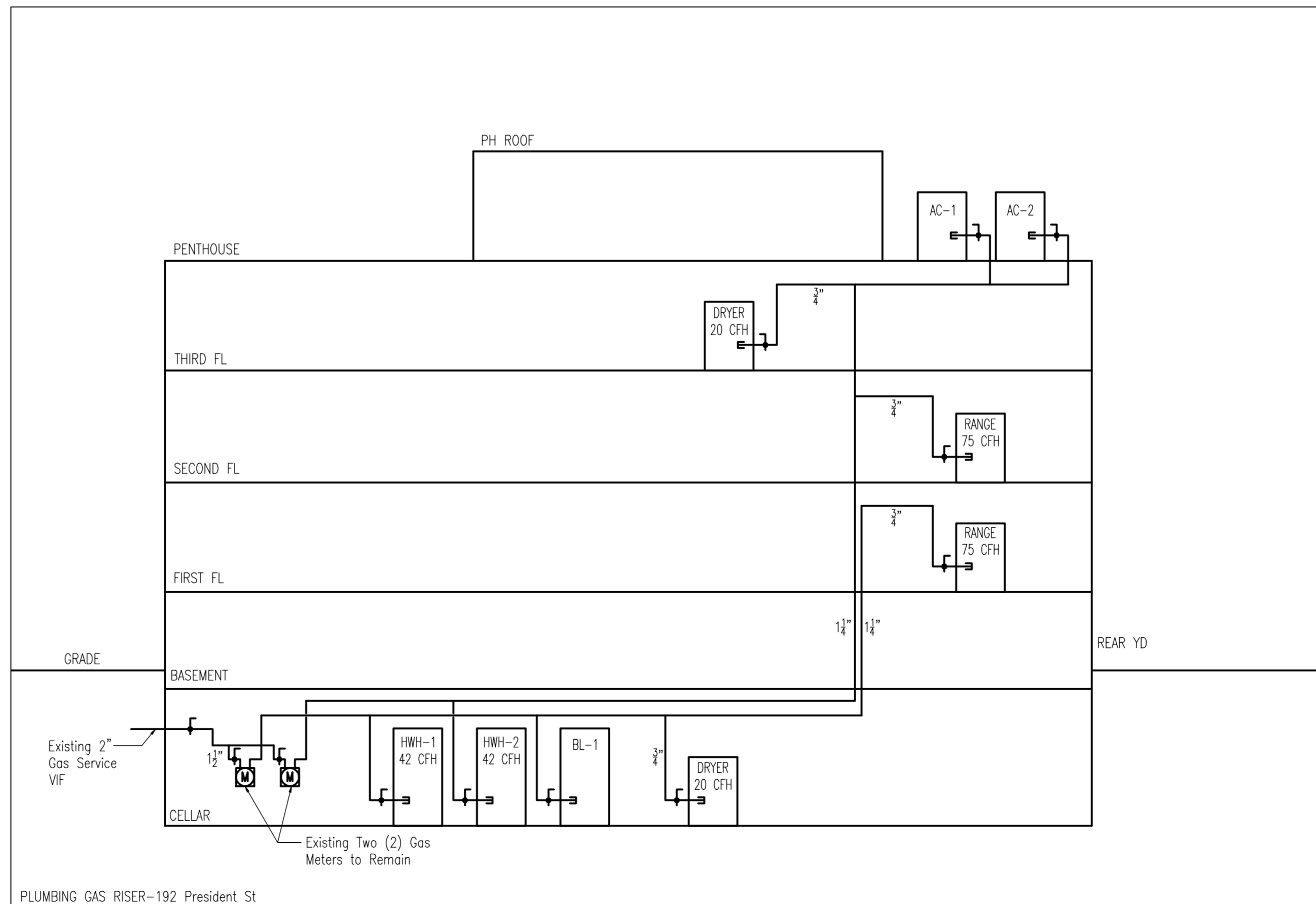
Department of Buildings Approvals:

DRAWING TITLE:	
PLUMBING RISER	
SEAL:	Drawing Number:

P1



1 Plumbing Riser-Storm
SCALE: 1/8" = 1'-0"



2 Plumbing Riser-Gas
SCALE: 1/8" = 1'-0"

CLIENT

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133 STERLING PLACE, SUITE 3A
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MECHANICAL ENGINEER:

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Rev	Date	Description
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Revisions

ACAD File Name:
P2 Plumbing Riser.dwg

PROJECT TITLE:

RENOVATION & ADDITION
FLOORS BAS, CEL, 1, 2, 3, PH, ROOF
192 PRESIDENT STREET
BROOKLYN, NY 11231

Project Number:	JA2008SPDV1
Drawn By:	DS
Checked By:	
Date:	1/5/2009
Issued For:	

Department of Buildings Approvals:

DRAWING TITLE:

PLUMBING RISER

SEAL:

Drawing Number:

P2