

GENERAL NOTES:

1. All work shall conform to the requirements of the New York City Building Code 2008, Fire Department regulations, utility company requirements, and the best trade practices.
 1a. All materials and construction shall conform to the requirements of all building and sanitary laws in force (the Codes).
 1b. All materials, equipment and assemblies shall be NYC-Approved type (MEA/BSA Approved, etc).
 1c. The Contractor shall be responsible for any violation of the Codes, and shall make all work acceptable to the NYC Department of Buildings and other agencies having jurisdiction.
 1d. The Contractor shall furnish all certificates that may be required for completion of work to the NYC Department of Buildings and other agencies.
 2. Before commencing work, the Contractor shall file all required Certificates of Insurance with the Department of Buildings, obtain all required permits, and pay all fees required by governing New York City agencies.
 3. EXAMINATION OF PREMISES:
 The Contractor shall verify all existing conditions in the field prior to commencing work, and shall report any discrepancies between drawings and field conditions to the Architect.
 3a. The Contractor shall carefully examine the premises before submitting his bid. No allowance will be made to the Contractor for lack of full knowledge of all conditions.
 4. Minor details not usually shown or specified, but necessary for proper construction of any part of the work shall be included as if they were indicated in the drawings.
 5. The Contractor shall coordinate all work procedures with requirements of local authorities and building management.
 6. The Contractor shall be responsible for the protection of all conditions and materials within the proposed construction area. The Contractor shall design and install adequate shoring and bracing for all structural or removal tasks. The Contractor shall have sole responsibility for any damage or injuries caused by or during the execution of the work.
 7. The Contractor shall lay out the work, as shown on the approved drawings, to the approval of the Owner.
 7a. The Contractor shall provide all dimensions required for other trades (plumbing, electrical, etc.).
 7b. The Contractor shall be responsible for any damage that may be sustained by the Owner or others from incorrect location of the work.
 8. All Plumbing Work shall be performed by a NYC Licensed Master Plumber with a current license and all necessary insurances on file.
 9. The Plumber shall be responsible for obtaining the required Plumbing Work Permit from the NYC-Department of Buildings.
 10. The Plumber shall be responsible for obtaining a Plumbing Signoff ("X" in BIS) for all Plumbing Work. The Plumber shall contact the Architect if a condition deviating from plans arises. The Plumber shall be responsible for obtaining all the necessary Roughing and Finish Inspections, for performing all required Tests, and for filing all the necessary signoff and support documents required for a Plumbing Signoff.
 11. All Electrical work shall be performed by a NYC Licensed Electrical Contractor with a current license and all necessary insurances on file.
 12. The Electrical Contractor shall be responsible for obtaining all required Electrical Permits, and for securing a Final Electrical Certificate for completion of their work.
 9. The Contractor shall do all cutting, patching, repairing as required to perform all of the work indicated on the drawings, and all other work that may be required to complete the job.
 10. All piping and wiring shall be removed to a point of concealment and shall be properly capped or plugged.
 11. The Contractor, upon completion of the work, shall arrange for Department of Buildings inspections and signoffs as required.

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PLUMBING & DRAINAGE NOTES:

1. All plumbing and gas piping work shall be installed in strict accordance with the requirements of the NEW YORK CITY PLUMBING CODE 2008 AND NEW YORK CITY FUEL GAS CODE 2008.
 2. Plumbing fixtures shall be of type and manufacture approved for use in New York City, and shall bear BS&A approval.
 3. Plumbing contractor to examine proposed layout with regard to existing field conditions, and shall notify architect of any discrepancies between assumed field conditions and those encountered during construction. Plumbing contractor shall inform Architect of any revisions to plan which shall be necessary, based on conditions uncovered in the field, in order to install all fixtures, equipment and piping in strict accordance with the requirements of the NYC Building Code.
 4. Plumbing contractor shall arrange and obtain inspections and required sign-offs.
 5. Note: This plan is approved only for work approved on the application specification sheet. All other matters shown are not to be relied upon, or to be considered as either approved or in accordance with applicable codes.

SMOKE AND CARBON MONOXIDE DETECTOR NOTES:

1. All Dwelling units within Occupancy group J-1 (Hotel/Transient) and Occupancy group J-2 (Multiple Dwellings), (except dwelling units which contain operational automatic wet sprinkler systems) shall be equipped with approved and operational smoke detecting devices, per BC 27-979.
 2. All Dwelling units in buildings within Occupancy group J-3 (1- 2- or 3-Family Residences) shall be equipped with approved and operational smoke detecting devices, per BC 27-979.
 3. Approved and operational smoke detecting devices shall be installed in mechanical rooms, electrical switch gear rooms and electric and telephone closets over seventy-five square feet in gross floor area in all buildings in all occupancy groups.
 4. Power Sources for Smoke Detecting Devices: Dwelling units shall be equipped with smoke detecting devices receiving their primary power from the building wiring and there shall be no switches in the circuit other than the over-current device protecting the branch circuit except that dwelling units in existing buildings may, as an alternative, be equipped with battery-operated smoke detecting devices except where such buildings are substantially improved or altered on or after January 1, 1982, per BC 27-980.
 5. Smoke Detectors shall by NYC-Approved ionization chamber or photo-electric type.
 6. Smoke Detectors shall be installed within fifteen feet of each room lawfully used for sleeping purposes.
 7. Every dwelling unit in a building of occupancy group J-1 (Hotel/Transient), J-2 (Multiple Dwellings) or J-3 (1- 2- or 3-Family Residences) where a fossil fuel-burning furnace or boiler is located shall be equipped with an approved, operational Carbon Monoxide Detector.
 8. Every dwelling unit in a building that is in close proximity to a source of carbon monoxide shall be equipped with an approved, operational Carbon Monoxide Detector.
 9. Carbon Monoxide Detectors shall be installed within fifteen feet of each room lawfully used for sleeping purposes.
 10. Carbon Monoxide Detectors may be combined with a smoke detecting device, provided it is an approved-type.
 11. In Buildings classified in occupancy group G (School/Educational) and H-2 (Hospital/Incapacitated), at least one approved and operational carbon monoxide detecting device shall be installed in the vicinity of the fossil fuel burning equipment.
 12. The requirement for Carbon Monoxide Detectors applies retroactively to every Building Occupancy Group as noted above
 13. An approved, operational Carbon Monoxide Detector shall be installed in an existing Dwelling Unit to be altered if a detector is not already existing in the Dwelling Unit.

LOCAL LAW #58/87 COMPLIANCE:

Proposed work consists of construction of a new 1-story Automotive Service Establishment Building

THE BUILDING SHALL BE MADE TO COMPLY WITH ACCESSIBILITY REQUIREMENTS.

ECCNYS COMPLIANCE STATEMENT:

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NY STATE

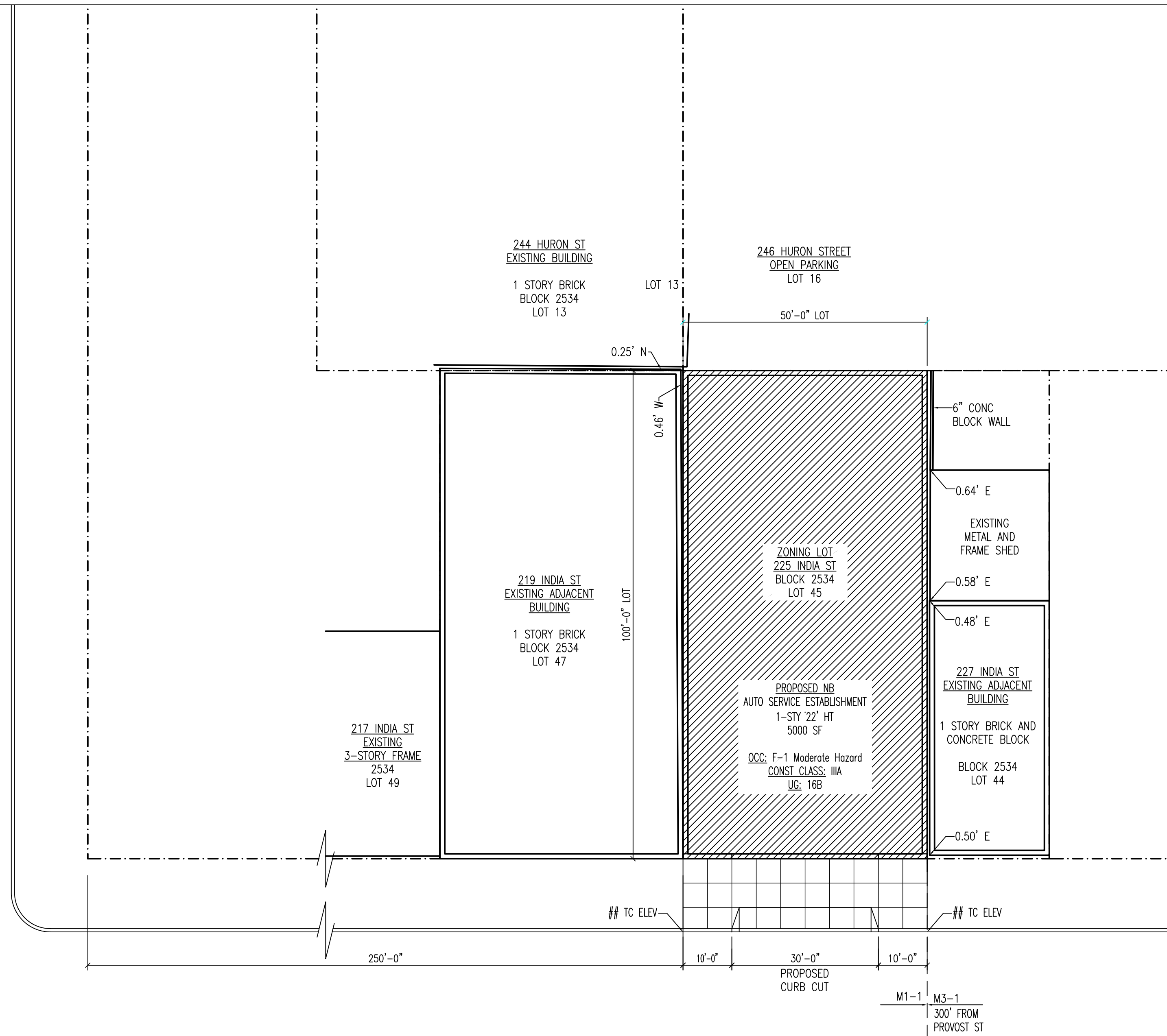
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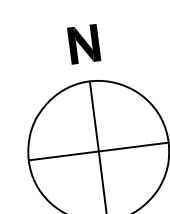
Proposed:

New 1-Story Auto Service Establishment Bldg 225 India Street Brooklyn, NY 11222

MCGUINNESS BOULEVARD



1 Site Plan
SCALE: 1/16" = 1'-0"



INDIA STREET
60' WIDE

Sheet List Table

Sheet Number	Sheet Title
T-001.00	Title Sheet
G-001.00	General Notes
Z-001.00	Zoning Analysis
C-001.00	Code Tables
A-001.00	First Fl Const Plan
A-002.00	Roof Plan
A-003.00	Front & Right Side Exterior Elevations
A-004.00	Rear & Left Side Exterior Elevations
A-005.00	Building Sections 1
A-006.00	Building Sections 2

NOTE:
Scope of Application is for construction of new 1-story, 5,000 SF Automotive Service Establishment Building including one 30' wide Curb Cut

Location Details:

Block:	2534
Lot 1:	45
Lot 2:	--
Zoning District 1:	M1-1
Zoning District 2:	--
Special Zoning District:	N/A
Special Zoning Subdistrict:	----
Commercial Overlay:	--
Zoning Map Number:	13a

Application Information:

Application Type:	New Building
Work Types:	OT CC EQ MH PL

List of Special Inspections:

Structural Cold-Formed Steel
Concrete-Cast-in-Place
Soils-Site Preparation
Mechanical Systems
Structural Safety-Structural Stability
Firestop, Draftstop, and Fireblock Systems

List of Progress Inspections:

Frame Inspection
Energy Code Compliance Inspections
Fire-Resistive Rated Construction

List of Separate Applications:

BPP
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CLIENT

HM VENTURES
46 ASH STREET
SUITE 301
BROOKLYN, NY 11222
Contact: ARI HECKMAN
Tel: (401) 439-9982

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Tel: --

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ARCHITECT OF RECORD

Anzalone Architecture PLLC
332 Douglass Street, Suite #2F
Brooklyn, NY 11217
Tel: 347-220-1173
Fax: 347-214-0124
E-mail: james@jamesanzalone.com
www.jamesanzalone.com

James Ian Anzalone, AIA
NYS RA Lic # 026010

SEAL

Revisions

Rev	Date	Description

ACAD File Name:

T-001.00 Title Sheet.dwg

PROJECT TITLE:

NEW 1-STORY
AUTO SERVICE ESTABLISHMENT BLDG
225 INDIA STREET
BROOKLYN, NY 11222

Proj #: JA2009HMVT1

Drawn By: DS

Checked By

Date 12/29/2009

Issed For

DRAWING TITLE:

TITLE SHEET

Drawing Number:

T-001.00

V Accessory Off-Street Parking and Loading Regulations

44-10	Permitted Accessory Off-Street Parking Spaces in an accessory group parking facility	150 max
44-20	Required accessory off-street parking spaces for Commercial Use Group 16B, P.R.C.-C	1 per 600 SF
	Required Minimum Number of Parking Spaces (5,000 SF/600)	8.3
44-23	Waiver of Requirements for Spaces Below Minimum Number; Maximum Number of Spaces Waived	15 Waived
	Required Number of Parking Spaces for Proposed Building	8 required, 15 waived= 0 required
	Provided Number of Accessory Off-Street Parking Spaces for proposed building	0
44-52	Required off-street loading berths for new construction, enlargements or changes of use	Not Required for UG 16B
44-60, 36-711	Enclosed Bicycle Parking Spaces	Not Required for UG 16B
44-60, 36-712	Unenclosed Bicycle Parking Spaces For open parking areas accessory to commercial uses that contain 18 or more spaces or are greater than 6,000 square feet in area	N/A-No Open Parking Area is Proposed

Zoning Analysis

I. Basic Information

ZR Section	Item	Data
	Project Type	New Building
	Air Rights of Adjacent Parcels Considered	No
	House Number	225
	Street Name	India Street
	Street Width (ft)	60
	Street Classification	Narrow Street
	AKA's	none
	Landmark	No
	Block	2534
	Lot	45
	BIN	3819297
	Community Board Number	301
	Zoning Map	8C
	Zoning District	M1-1
	Special District	N/A
	Special Subdistrict	N/A
	Commercial Overlay	none
	Nearest Cross Street	McGuinness Boulevard

	Distance from Corner (ft)	250
	Lot Type	Interior
	Lot Width (ft)	50
	Lot Depth (ft)	100
	Zoning Lot Area (sq ft)	5000 SF
	Street Frontage (ft)	50
	Proposed Use:	UG 16B Automotive Service Establishment
42-12	Use Permitted As-of-Right?	Yes
	Lot is Within Manhattan Core?	No
	Lot is Within 100' of a Wide Street?	No
43-02	Street Tree Requirements:	1 Street Tree Required

II Floor Area Ratio

43-12	Maximum FAR	1.00
	Maximum Zoning Floor Area (sq ft) Lot Area 5000 SF * 1.00 Max FAR	5000.00
	Proposed Total FAR	1.00
	Proposed Total Number of Stories	1
	Proposed Zoning Floor Area (sq ft)-See Below	
	First Floor- UG 16B	5000.00
	Roof	0
	Proposed Total Zoning Floor Area (sq ft)	5000.00
	Proposed Lot Coverage (%)	100%
	Proposed Lot Coverage (sq ft)	5000.00

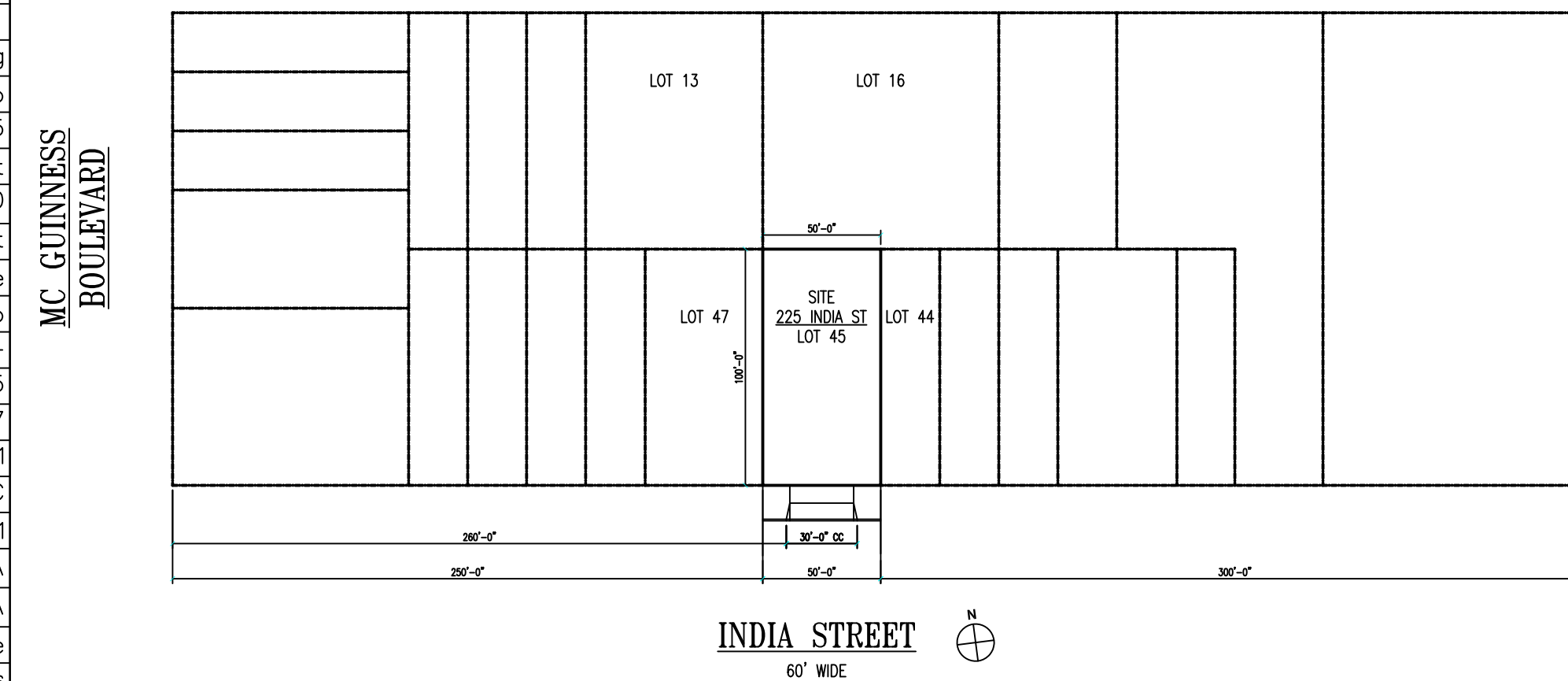
III Yard Regulations

43-25	Minimum Required Side Yard	No Side Yard Requirement. However, 8' Wide minimum if provided.
	Proposed Side Yard	None
43-26	Minimum Required Rear Yard (ft)	20
	Provided Rear Yard (ft) Note: see 'Permitted Obstructions'	0
43-23(b)	Permitted Obstructions in any Rear Yard or Rear Yard Equivalent:	
	Any building or portion of a building used for any permitted use provided that the height of such building shall not exceed one story, excluding basement, nor in any event 23 feet above curb level	
	Proposed Permitted Obstruction: Portion of Proposed New Building not exceeding 1-story and not exceeding 23' in height above Curb Level. Not used for Dwelling Purposes.	1-Story 21'-9" Ht=OK Permitted Obstruction

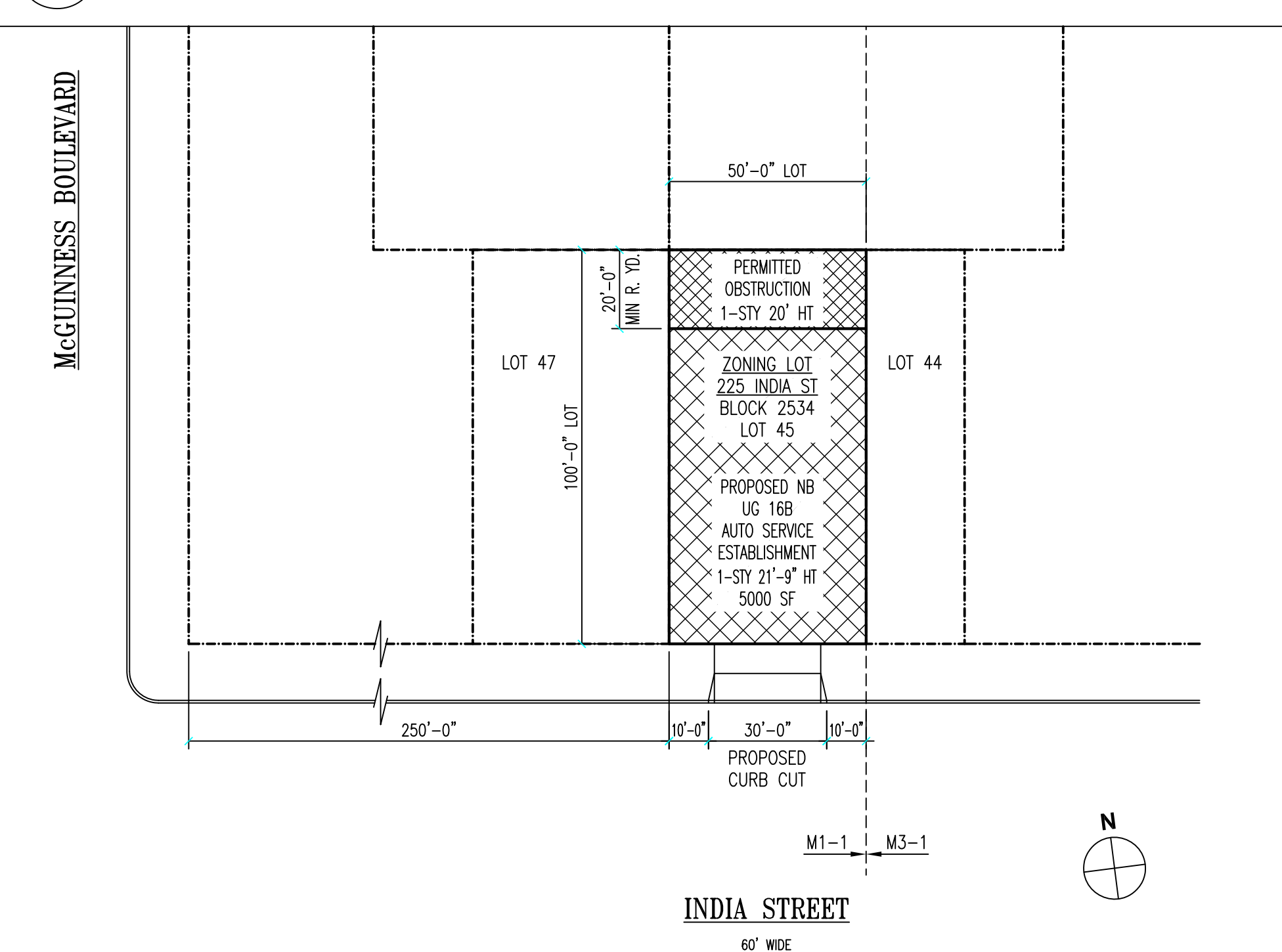
VI Height & Setback Regulations

43-43	Maximum Height of Front Wall (ft), (Stories)	30', 2-Stories
	Proposed Height of Front Wall (ft), (Stories) above average Top of Curb	21'-9", 1-Story
	Initial Setback Distance Required (ft) Narrow Street	20'
	Proposed Initial Setback Distance (ft)	N/A-Bldg does not exceed Front Wall Height Limitation. See Sky Exposure Plane Diagram
	Sky Exposure Plane Slope over Zoning Lot	1:1
43-46	Does Zoning Lot adjoin a Public Park?	No-N/A
	Proposed Total Building Height (ft)	20'-0"
	Proposed Total Number of Stories	1

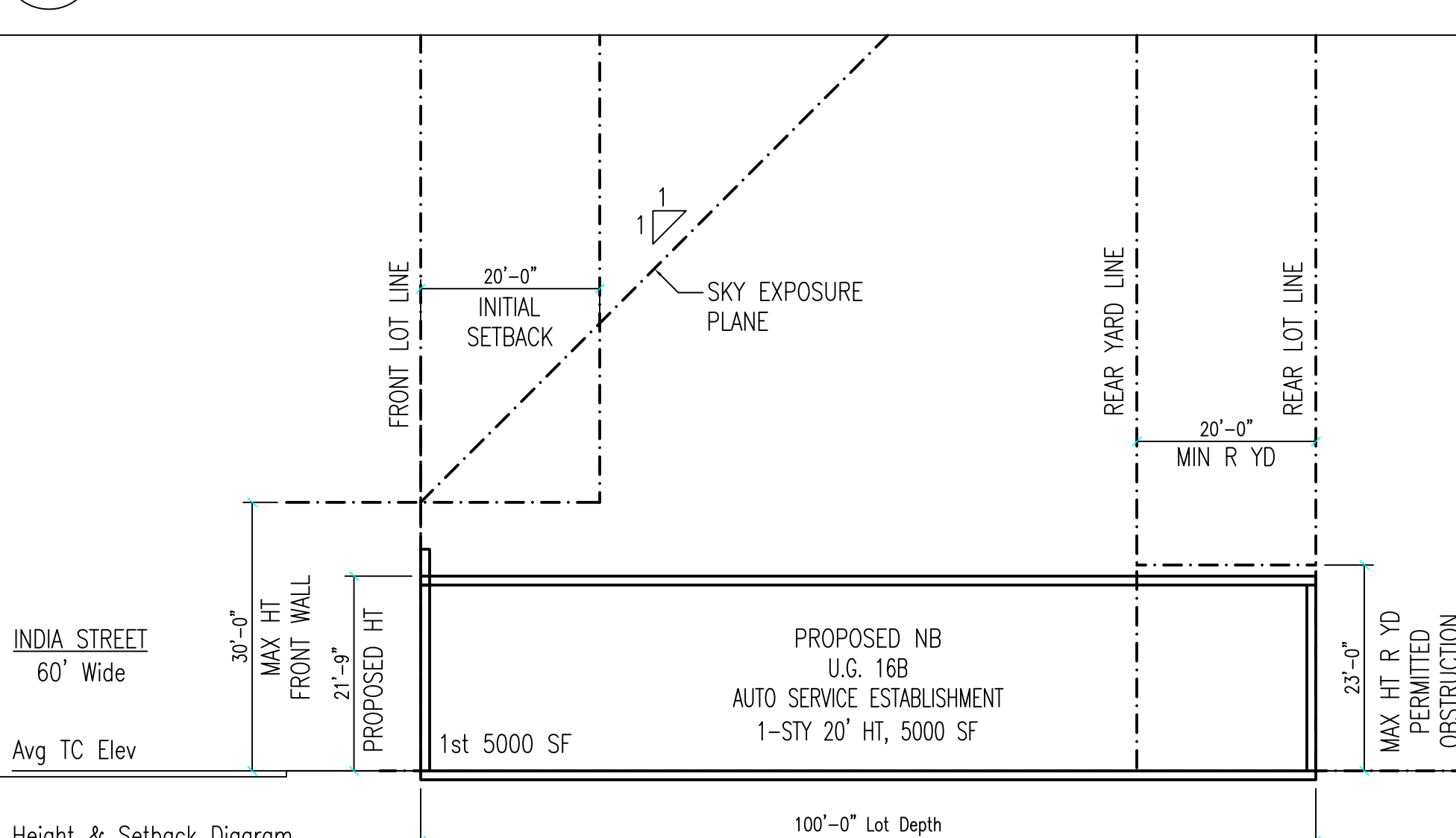
HURON STREET



1 Vicinity Plan
SCALE: 1/64" = 1'-0"



2 Plot Plan
SCALE: 1/32" = 1'-0"



3 Zoning Height & Setback Diagram
SCALE: 1/16" = 1'-0"

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Revisions

ACAD File Name:
Z-001.00 Zoning Analysis.dwg

PROJECT TITLE:

NEW 1-STORY

AUTO SERVICE ESTABLISHMENT BLDG
225 INDIA STREET
BROOKLYN, NY 11222

Proj #:	JA2009HMVT1
Drawn By:	DS
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DRAWING TITLE:

ZONING ANALYSIS

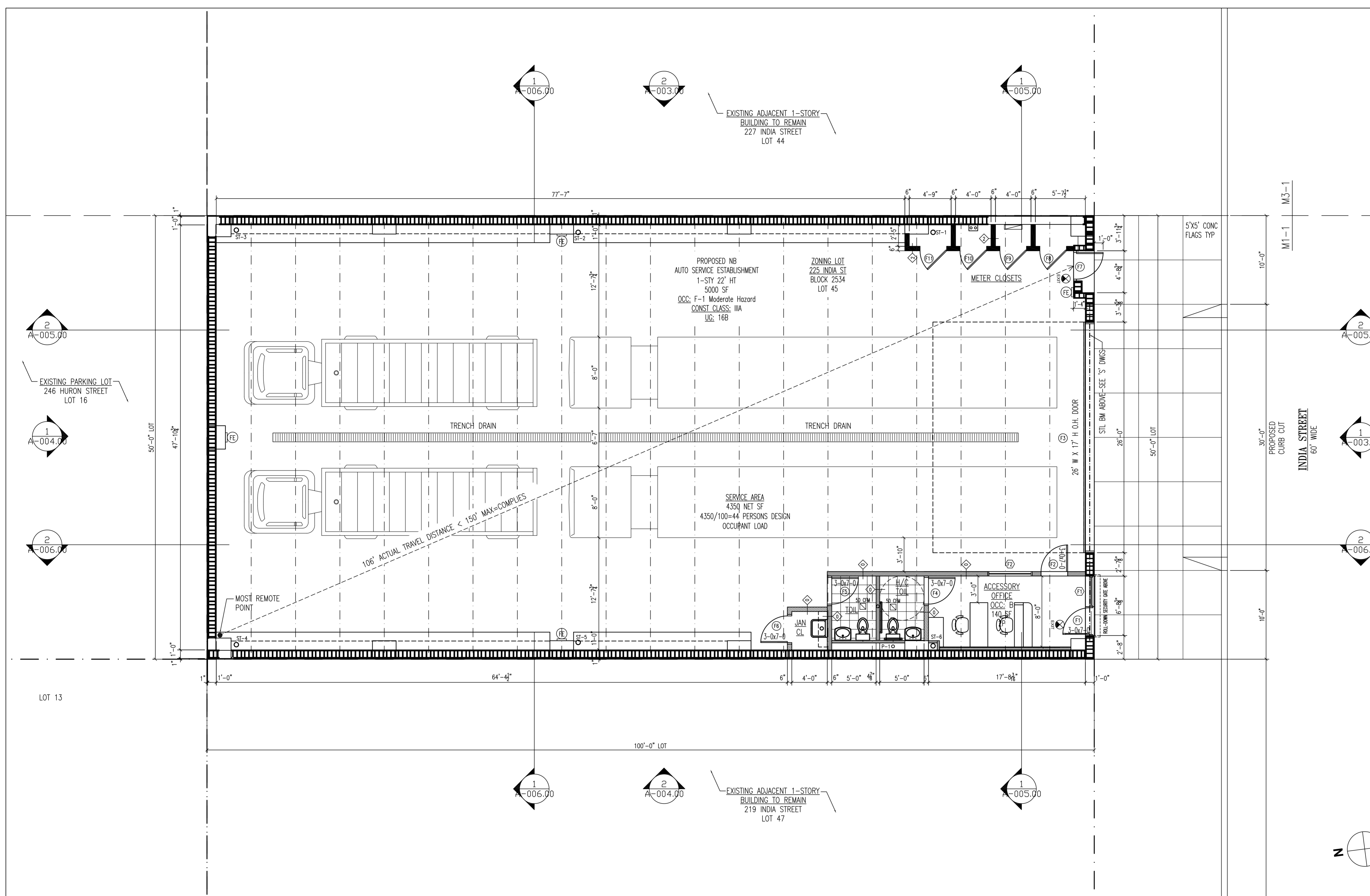
Drawing Number:

Z-001.00

Code Analysis		
BC SECT	ITEM:	PROJECT DATA:
	PROJECT LOCATION	225 INDIA STREET, BROOKLYN, NEW YORK 11222 BLDCK: 2534 LOT: 45
	LOT AREA	5,000 SF
	STREET WIDTH	60'
302, 306.2	OCCUPANCY CLASSIFICATION OF BUILDING	AUTOMOBILES AND OTHER MOTOR VEHICLES—REPAIRS F-1 FACTORY INDUSTRIAL MODERATE HAZARD
D101.2	LOCATED WITHIN A FIRE DISTRICT?	YES
501.3	FRONTAGE	TOTAL PERIMETER=(50+100+50+100)=300 FT TOTAL FRONTAGE=50 FT FRONTAGE PERCENTAGE=(50/300)= 16.6% PROVIDED > 8% MIN=OK
501.3.2	BUILDING ACCESS	1-STORY BUILDING AT GRADE. NO CELLAR.
TABLE 503	TYPE OF CONSTRUCTION	III-A
TABLE 503	MAXIMUM HEIGHT	22' PROPOSED < 65' MAX=COMPLIES
TABLE 503	MAXIMUM NUMBER OF STORIES	1 STORY PROPOSED < 5 STORIES MAX=COMPLIES
TABLE 503	MAXIMUM GROSS FLOOR AREA	5,000 SF GROSS PROPOSED < 7,500 SF GROSS=COMPLIES
	SPRINKLERED	NO
508.3.1	ACCESSORY OCCUPANCIES	ACCESSORY OFFICES AND TOILET ROOMS (OCC: B) AREA: 276 SF PERCENTAGE OF TOTAL FLOOR AREA (276/5,000)*100=5.5% 5.5% < 10% THEREFORE NO SEPARATION IS REQUIRED TO MAIN F-1 OCCUPANCY
TABLE 601	FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS:	
	STRUCTURAL FRAME, INCLUDING COLUMNS, GIRDERS, TRUSSES	REQUIRED: 1-HR PROVIDED: N/A
	BEARING WALLS—EXTERIOR	REQUIRED: 2-HR PROVIDED: 2-HR
	BEARING WALLS—INTERIOR	REQUIRED: 1-HR PROVIDED: N/A
	NONBEARING WALLS AND PARTITIONS—INTERIOR	REQUIRED: 0-HR PROVIDED: 0-HR
	FLOOR CONSTRUCTION—INCLUDING SUPPORTING BEAMS AND JOISTS	REQUIRED: 0-HR PROVIDED: 0-HR
	ROOF CONSTRUCTION INCLUDING SUPPORTING BEAMS AND JOISTS	REQUIRED: 0-HR PROVIDED: 0-HR
TABLE 602	FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE:	REQUIRED: 2-HR PROVIDED: 2-HR
	FIRE SEPARATION DISTANCE <5', OCCUPANCY GROUP F-1	
704.11	PARAPETS SHALL BE PROVIDED ON EXTERIOR WALLS OF BUILDINGS. PARAPET SHALL HAVE THE SAME FIRE RESISTANCE RATING AS THE SUPPORTING WALL. THE HEIGHT OF THE PARAPET SHALL NOT BE LESS THAN 30 INCHES ABOVE THE POINT WHERE THE ROOF SURFACE AND THE WALL INTERSECT.	PARAPETS PROVIDED, 2-HR RATED, MIN HT 30" ABOVE ROOF SURFACE
903.2.3.2	AUTOMATIC SPRINKLER SYSTEM REQUIREMENT FOR REPAIR GARAGES	<u>SPRINKLER NOT REQUIRED</u> SINCE: 1. BUILDING IS NOT 2 OR MORE STORIES IN HEIGHT AND DOES NOT HAVE A FIRE AREA EXCEEDING 10,000 SF 2. BUILDING IS 1-STORY AND DOES NOT EXCEED 12,000 SF 3. BUILDING IS NOT SERVICING VEHICLES PARKED IN THE BASEMENT
	OCCUPANCY HAZARD CLASSIFICATION PER NFPA	ORDINARY HAZARD—GROUP 2 (REPAIR GARAGE)
NYC FIRE CODE TABLE 906.3(1)	FIRE EXTINGUISHERS	MINIMUM RATED EXTINGUISHER 2-A MAXIMUM FLOOR AREA PER UNIT OF A: 1,500 SF MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER: 75' 5,000/1500=3.3 MIN, 4 PROVIDED
907.2.4	FIRE ALARM AND DETECTION SYSTEMS	<u>FIRE ALARM NOT REQUIRED</u> SINCE: BUILDING LESS THAN 2 STORIES IN HEIGHT AND DOES NOT HAVE AN OCCUPANT LOAD OF 100 OR MORE. BUILDING DOES NOT HAVE 25 PERSONS OR MORE ABOVE OR BELOW THE LOWEST LEVEL OF EXIT DISCHARGE.
908.5	EMERGENCY ALARM SYSTEMS—REPAIR GARAGES	A FLAMMABLE GAS DETECTION SYSTEM SHALL BE PROVIDED IN REPAIR GARAGES FOR VEHICLES FUELED BY CNG, LNG OR HYDROGEN
CHAPTER 10	MEANS OF EGRESS	
TABLE 1004.1.2	OCCUPANT LOAD—INDUSTRIAL AREAS	100 SF/PERSON 4350 SERVICE AREA/100= 44 PERSONS 140 SF OFFICE AREA/100= 2 PERSONS TOTAL OCCUPANT LOAD: 46 PERSONS <u>ACTUAL OCCUPANT LOAD SHALL BE SIGNIFICANTLY LOWER</u>
1014, TABLE 1014.1	EXIT ACCESS DOORWAYS SPACES WITH ONE MEANS OF EGRESS	46 PERSONS < 50 PERSONS=OK WITH ONE EXIT DOOR
1018.2	BUILDINGS WITH ONE EXIT	SINGLE-LEVEL BUILDINGS WITH THE OCCUPIED SPACE AT THE LEVEL OF EXIT DISCHARGE WITH THE SPACE COMPLYING WITH SECTION 1014.1=OK WITH ONE EXIT FROM BUILDING
1015, TABLE 1015.1	EXIT ACCESS TRAVEL DISTANCE F-1, WITHOUT SPRINKLER SYSTEM	106' ACTUAL < 150' MAX=COMPLIES

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Department of Buildings Approvals:		

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46 ASH STREET SUITE 301 BROOKLYN, NY 11222 Contact: ARI HECKMAN Tel: (401) 439-9982																																			
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James Ian Anzalone, AIA
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 A-001.00 First Fl Const Plan.dwg

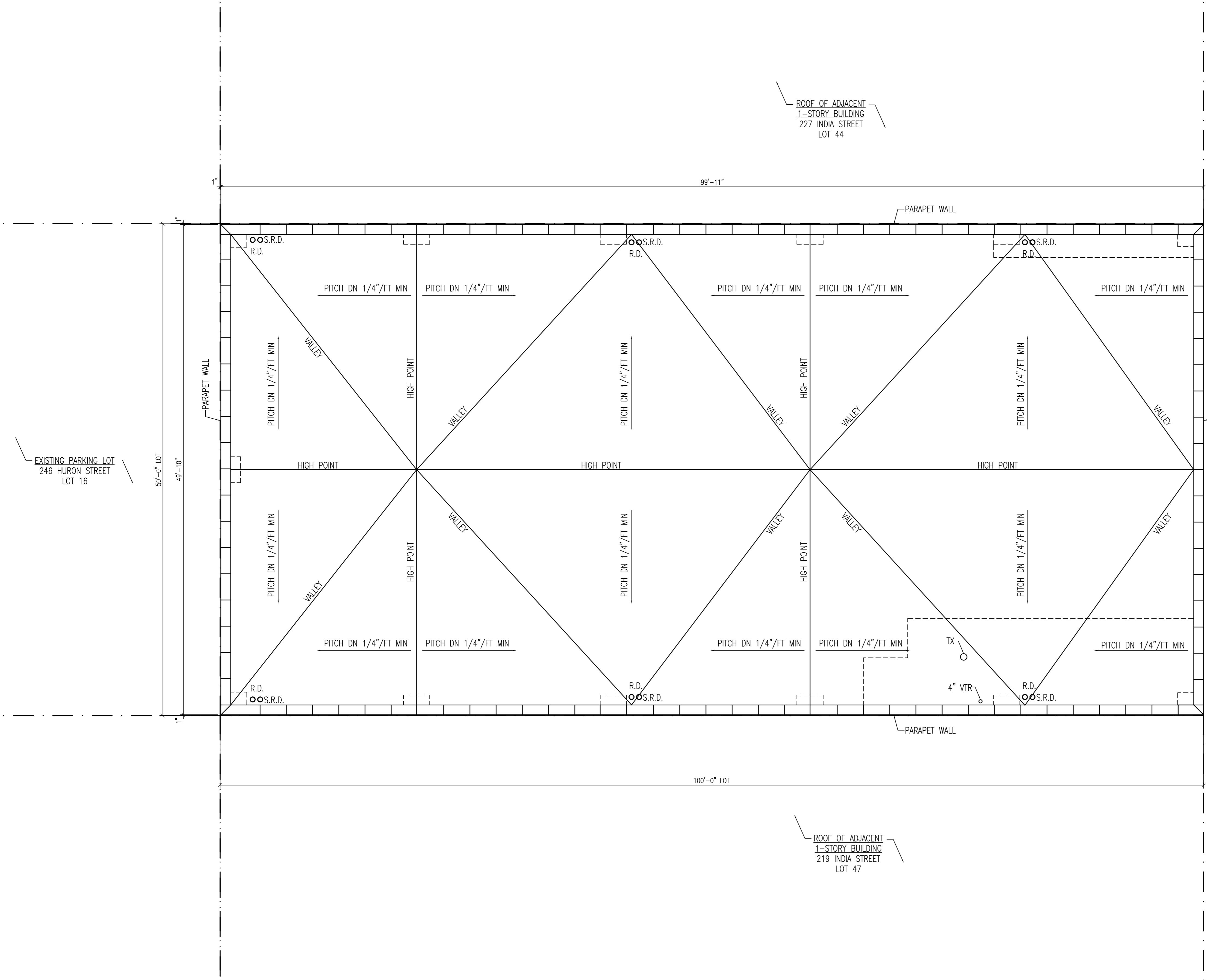
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A-001.00

1 First Floor Construction Plan
 SCALE: 3/16" = 1'-0"
 GROSS FLOOR AREA 5,000 SF
 UNSPRINKLERED

Department of Buildings Approvals:



CLIENT
HM VENTURES
 46 ASH STREET
 SUITE 301
 BROOKLYN, NY 11222
 Contact: ARI HECKMAN
 Tel: (401) 439-9982

MECHANICAL ENGINEER:
 --
 --
 Tel: --

STRUCTURAL ENGINEER:
 --
 --
 Tel: --

CODE/ZONING CONSULTANT:
 --
 --
 Tel: --

ARCHITECT OF RECORD
Anzalone Architecture PLLC
 332 Douglass Street, Suite #2F
 Brooklyn, NY 11217
 Tel: 347-220-1173
 Fax: 347-214-0124
 E-mail: james@jamesanzalone.com
 www.jamesanzalone.com
 James Ian Anzalone, AIA
 NYS RA Lic # 026010

SEAL

Rev	Date	Description
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Revisions
 ACAD File Name:
 A-002.00 Roof Plan.dwg

PROJECT TITLE:
NEW 1-STORY
 AUTO SERVICE ESTABLISHMENT BLDG
 225 INDIA STREET
 BROOKLYN, NY 11222
 Proj #: JA2009HMT1
 Drawn By: DS
 Checked By:
 Date: 1/25/2010
 Issed For:

DRAWING TITLE:
ROOF PLAN
 Drawing Number:

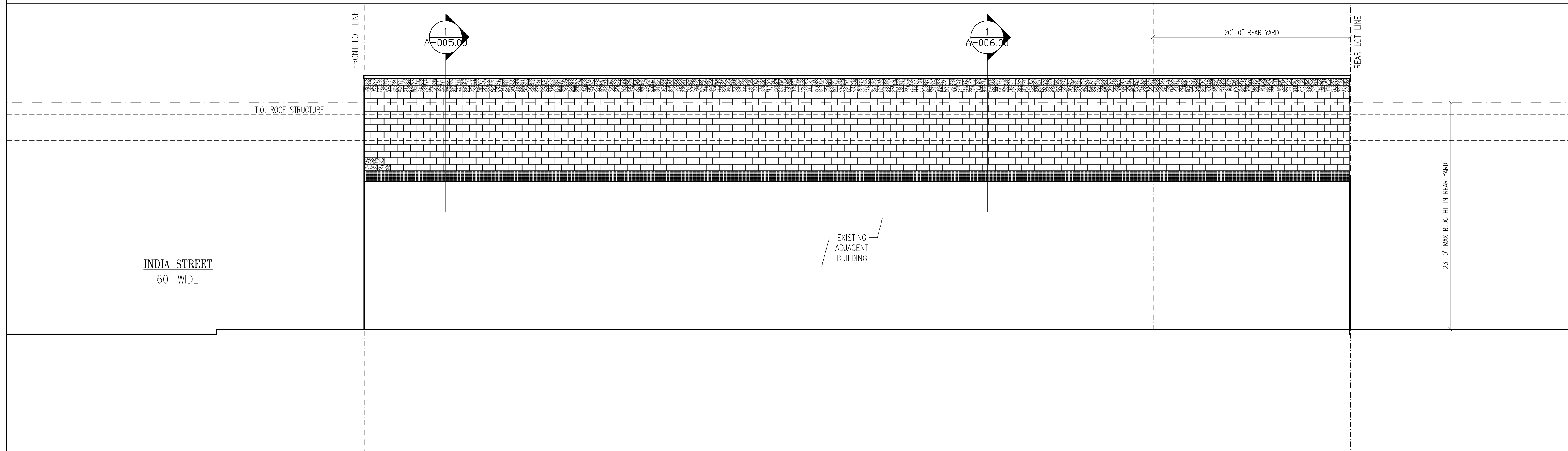
A-002.00

1 Roof Construction Plan
 SCALE: 3/16" = 1'-0"

Department of Buildings Approvals:



1 Front Exterior Elevation
SCALE: 3/16" = 1'-0"



2 Right Side Exterior Elevation
SCALE: 3/16" = 1'-0"

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Brooklyn, NY 11217
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Fax: 347-214-0124
E-mail: james@jamesanzalone.com
www.jamesanzalone.com

James Ian Anzalone, AIA
NYS RA Lic # 026010

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Rev	Date	Description

Revisions
ACAD File Name:
A-003.00 Front & Right Side Exterior Elevations.dwg

PROJECT TITLE:
NEW 1-STORY
AUTO SERVICE ESTABLISHMENT BLDG
225 INDIA STREET
BROOKLYN, NY 11222

Proj #:	JA2009HMVT1
Drawn By:	DS
Checked By:	
Date:	12/29/2009

Issued For

DRAWING TITLE:
FRONT & RIGHT SIDE EXTERIOR ELEVATIONS
Drawing Number:

A-003.00

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HM VENTURES
 46 ASH STREET
 SUITE 301
 BROOKLYN, NY 11222
 Contact: ARI HECKMAN
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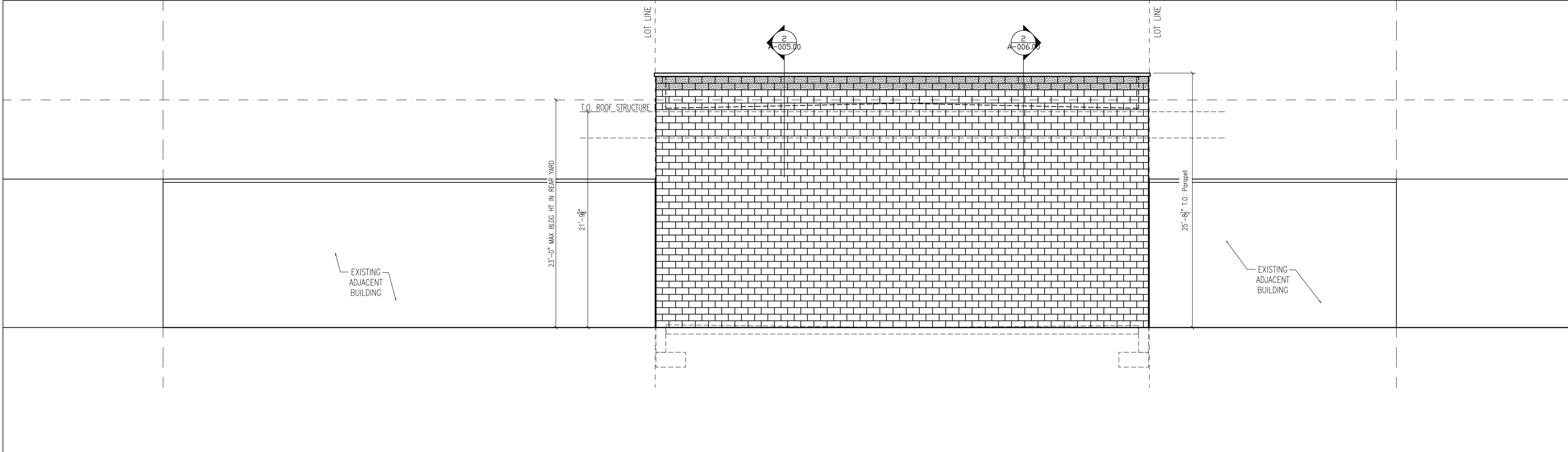
MECHANICAL ENGINEER:
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STRUCTURAL ENGINEER:
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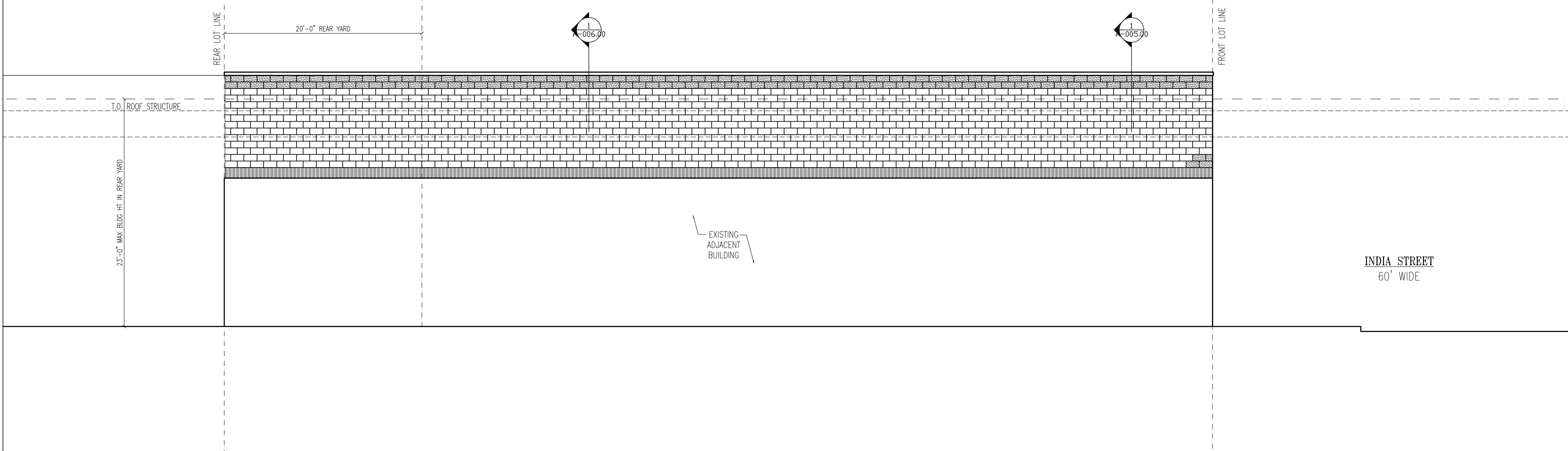
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James Ian Anzalone, AIA
 NYS RA Lic # 026010



1 Rear Exterior Elevation
 SCALE: 3/16" = 1'-0"



2 Left Side Exterior Elevation
 SCALE: 3/16" = 1'-0"

SEAL

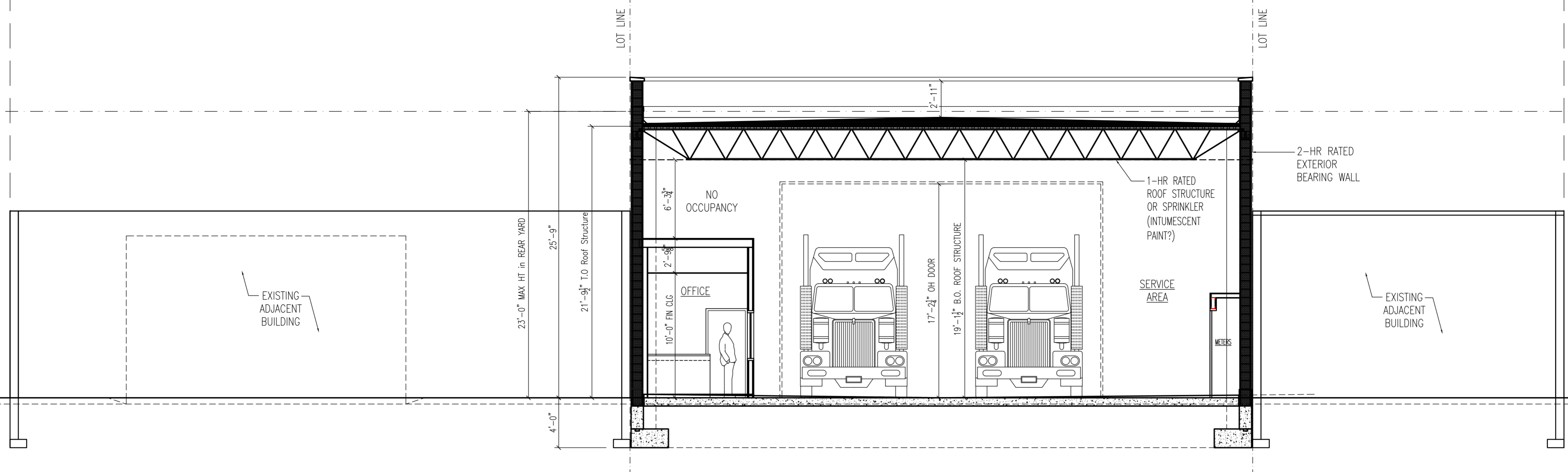
Rev	Date	Description

Revisions
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 A-004.00 Rear & Left Side Exterior Elevations.dwg

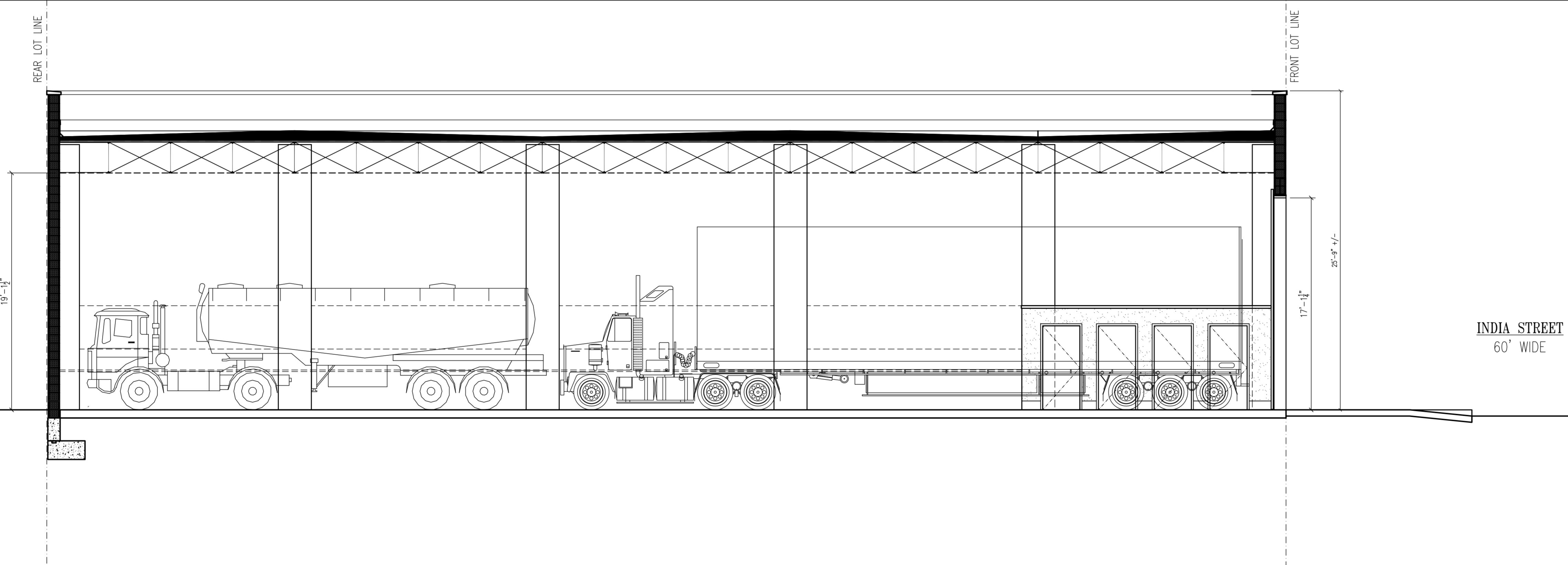
PROJECT TITLE:
NEW 1-STORY
 AUTO SERVICE ESTABLISHMENT BLDG
 225 INDIA STREET
 BROOKLYN, NY 11222

Proj #: JA2009HMVT1
 Drawn By: DS
 Checked By:
 Date: 12/29/2009
 Issed For:

DRAWING TITLE:
REAR & LEFT SIDE EXTERIOR ELEVATIONS
 Drawing Number:
A-004.00



1 Transverse Building Section
SCALE: 3/16" = 1'-0"



2 Longitudinal Building Section
SCALE: 3/16" = 1'-0"

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James Ian Anzalone, AIA
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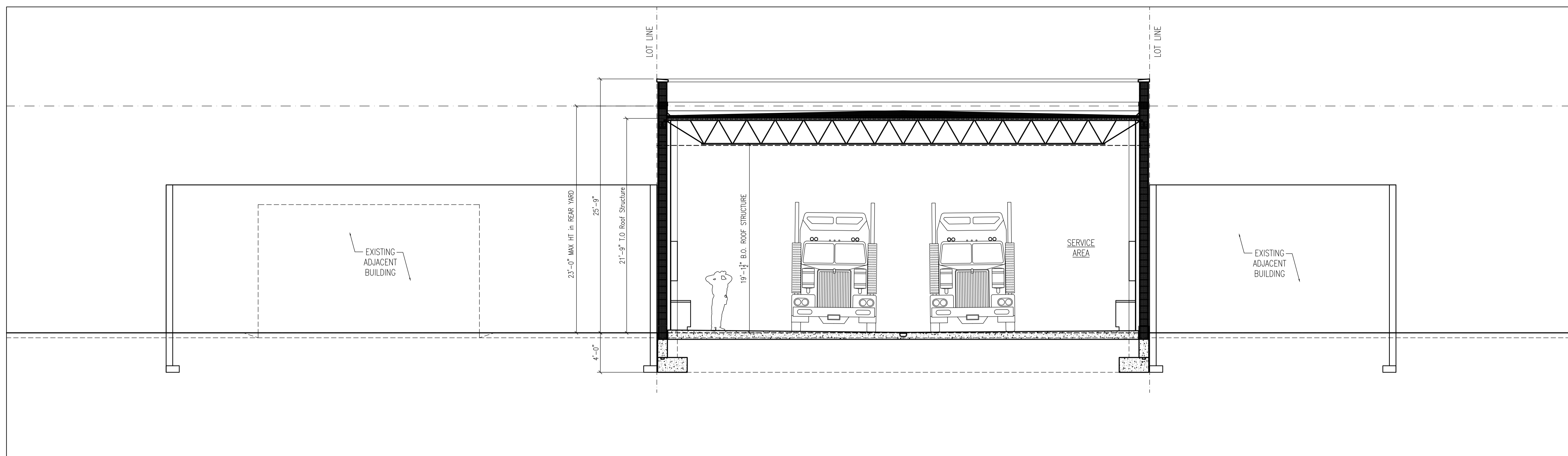
Rev	Date	Description

Revisions
 ACAD File Name:
 A-005.00 Building Sections 1.dwg

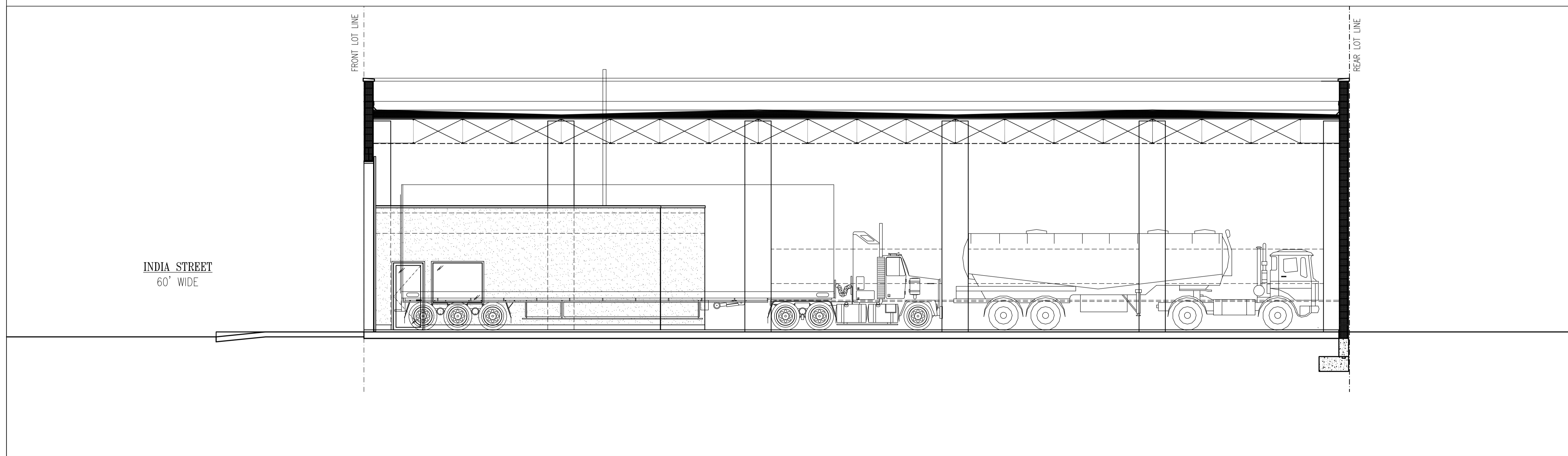
PROJECT TITLE:
NEW 1-STORY
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 225 INDIA STREET
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Proj #: JA2009HMVT1
 Drawn By: DS
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DRAWING TITLE:
BUILDING SECTIONS 1
 Drawing Number:
A-005.00



1 Transverse Building Section
SCALE: 3/16" = 1'-0"



2 Longitudinal Building Section
SCALE: 3/16" = 1'-0"

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 www.jamesanzalone.com
 James Ian Anzalone, AIA
 NYS RA Lic # 026010

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Rev	Date	Description

Revisions
 ACAD File Name:
 A-006.00 Building Sections 2.dwg

PROJECT TITLE:
NEW 1-STORY
 AUTO SERVICE ESTABLISHMENT BLDG
 225 INDIA STREET
 BROOKLYN, NY 11222

Proj #: JA2009HMVT1
 Drawn By: DS
 Checked By:
 Date: 12/29/2009
 Issued For:

DRAWING TITLE:
BUILDING SECTIONS 2
 Drawing Number:

A-006.00

		Door Schedule													
		DOOR								FRAME					NOTES
Floor	Door No	Type	Rating	Location	Width	Height	Thick	Mat	Hardware	Type	Material	Head	Jamb	Sill	
First	⑰	C	NR	ACCESSORY OFFICE—MAIN BUILDING ENTRANCE	3'-0"	7'-0"	1 1/4"	ALUM/GL	Swing Door	--	HM	--	--	--	
	⑱	D	NR-SC	ACCESSORY OFFICE—DOOR TO SERVICE AREA	3'-0"	7'-0"	1 1/4"	ALUM/GL	Swing Door		HM				Provide Vision Panel
	⑳	E	NR	OVERHEAD DOOR	26'-0"	17'-0"	1 1/4"	HM	Overhead Door						MOTORIZED OPENER
	㉑	B	NR	H/C TOILET RM	3'-0"	7'-0"	1 1/4"	HM	Swing Door	1	HM		J1	S2	
	㉒	B	NR	TOILET RM	3'-0"	7'-0"	1 1/4"	HM	Swing Door	1	HM		J1	S2	Provide 'Boiler Room' Sign on Door
	㉓	B	NR	JANITOR'S CLOSET	3'-0"	7'-0"	1 1/4"	HM	Elevator Door	1	HM		J1	S2	
	㉔	A	1 1/2 Hr FPSC	SERVICE AREA EXIT DOOR	3'-0"	7'-0"	1 1/4"	HM	Swing Door	1	HM		J1	S2	Provide 'Elevator Control Room' Sign on Door
	㉕	A	1 1/2 Hr FPSC	METER CLOSET	3'-0"	7'-0"	1 1/4"	HM	Swing Door	1	HM		J1	S2	Provide 'Laundry Room' Sign on Door
	㉖	A	1 1/2 Hr FPSC	METER CLOSET	3'-0"	7'-0"	1 1/4"	HM	Swing Door	1	HM		J1	S2	
	㉗	A	1 1/2 Hr FPSC	METER CLOSET	3'-0"	7'-0"	1 1/4"	HM	Swing Door	1	HM		J1	S2	
	㉘	A	1 1/2 Hr FPSC	METER CLOSET	3'-0"	7'-0"	1 1/4"	HM	Swing Door	1	HM		J1	S2	

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Anzalone

Architecture PLLC

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Revisions

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ACAD File Name:

A-007.00 Door Schedule.dwg

PROJECT TITLE:

NEW 1-STORY

AUTO SERVICE ESTABLISHMENT BLDG
225 INDIA STREET
BROOKLYN, NY 11222

Proj #:	JA2009HMVT1
Drawn By:	DS
Checked By	
Date	1/27/2010
Issed For	

DRAWING TITLE:

DOOR SCHEDULE

Drawing Number:

A-007.00

Department of Buildings Approvals: