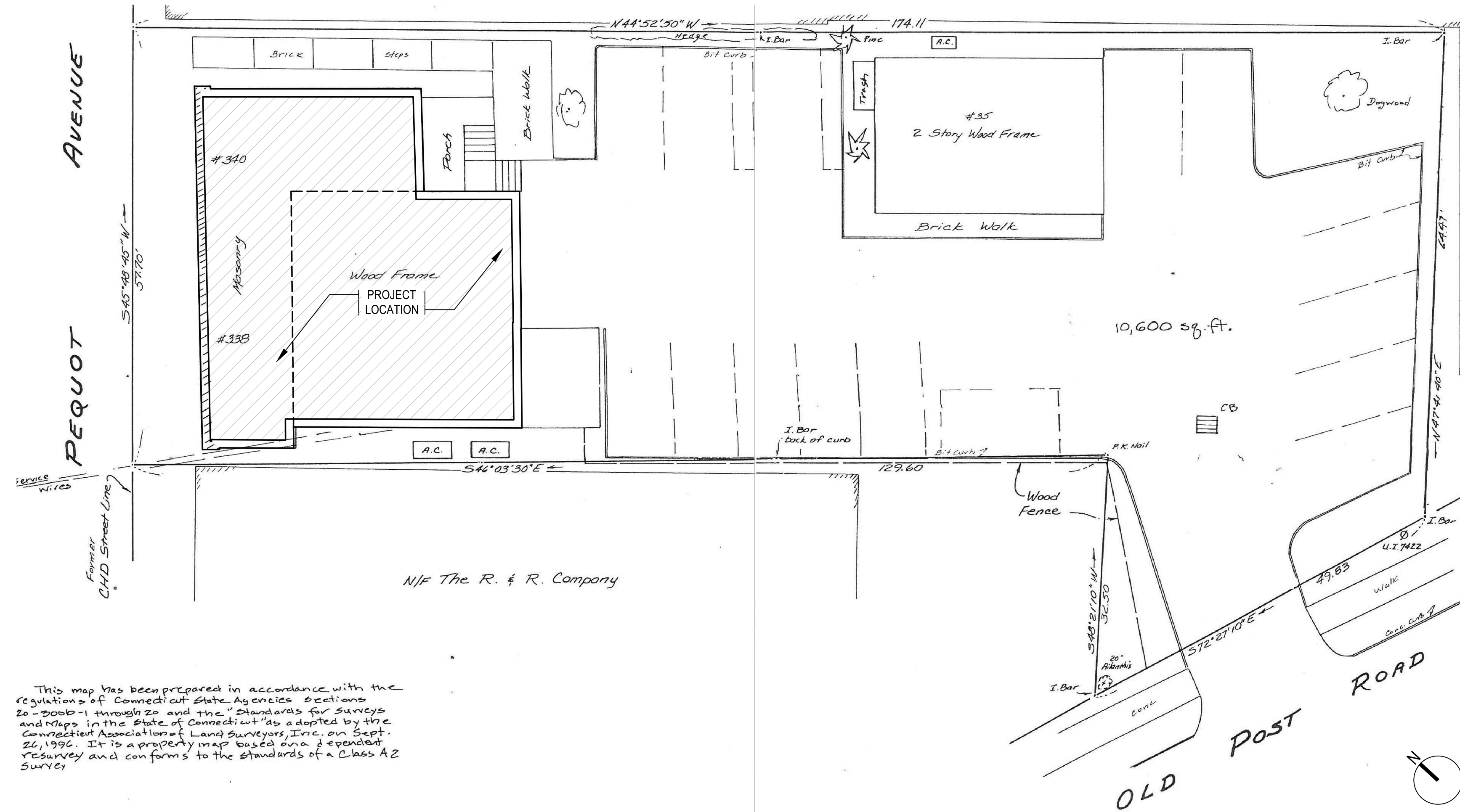


J. McLAUGHLIN STORE - SOUTHPORT

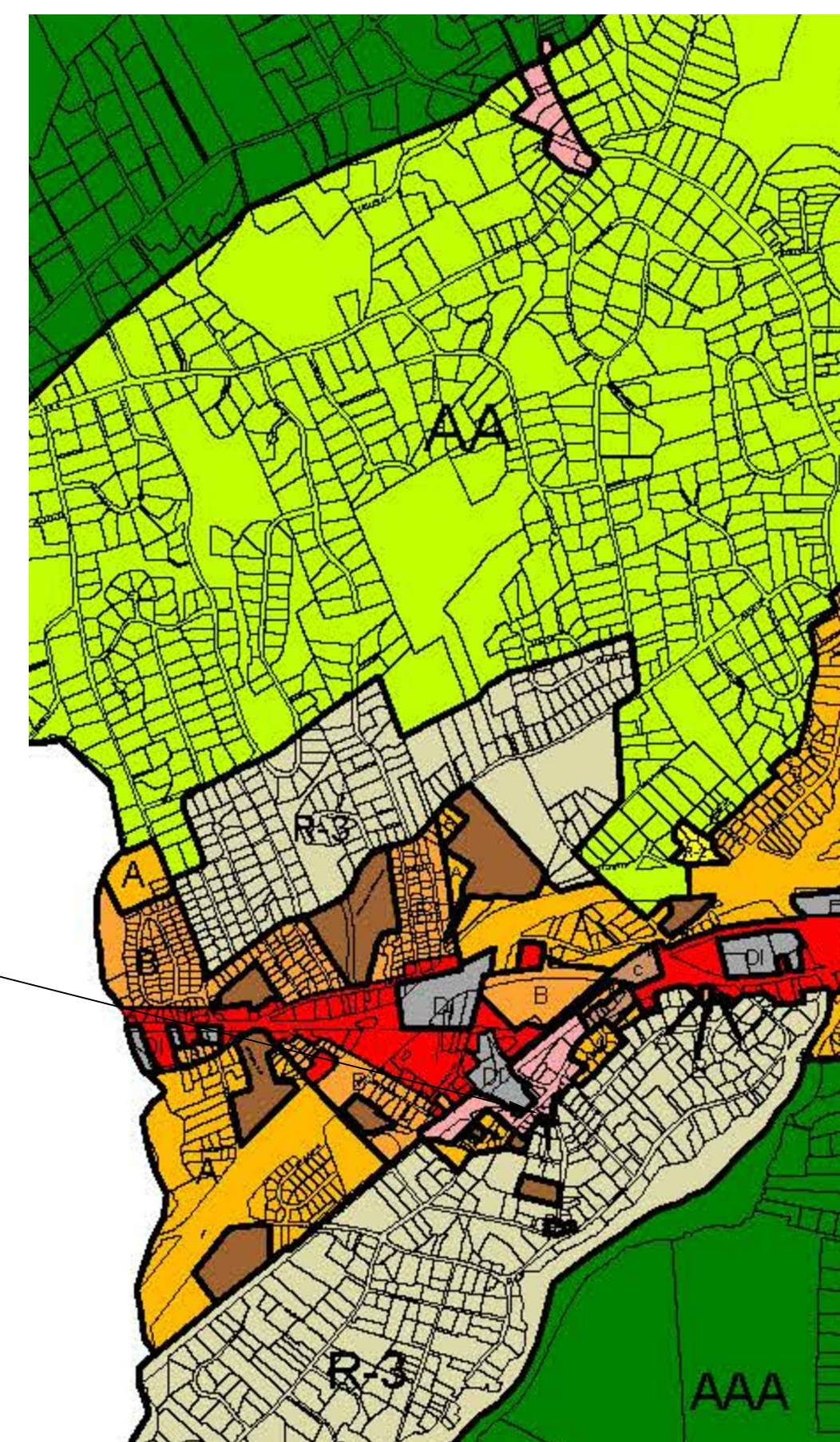
PROJECT ADDRESS - 338-342 PEQUOT AVENUE, SOUTHPORT, CT 06890



This map has been prepared in accordance with the regulations of Connecticut State Agencies Sections 20-200b-1 through 20 and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on Sept. 24, 1996. It is a proprietary map based on a recent resurvey and conforms to the standards of a Class A2 Survey.

2 SITE SURVEY PLAN
SCALE: N.T.S.

LEGEND	
Zoning Districts	
Residence Districts	
AAA	AAA
R-3	R-3
R-2	R-2
A	A
B	B
C	C
Designed Residence	
Beach District (BD)	
Flood Plain Dist	
Business Districts	
CDBD	
Designed Commercial Dist	
NDD	
Industrial Districts	
DI	
DRD	
Commerance Drive Area Designated District	



1 ZONING MAP
SCALE: N.T.S.

DRAWING LIST

- C:0.0 - COVER SHEET
- A:0.0 - ACCESSIBILITY AND SCHEDULE PLAN
- D:1.0 - DEMOLITION 1ST & 2ND FLOOR PLAN
- A:1.0 - PROPOSED 1ST & 2ND CONSTRUCTION FLOOR PLAN
- A:1.1 - EXISTING BASEMENT & ROOF PLAN
- E:1.0 - 1ST & 2ND ELECTRICAL/ LIGHTING PLAN

CODE ANALYSIS

PROJECT DESCRIPTION:
TENANT IMPROVEMENTS TO JOIN TWO SEPARATE EXISTING JMcLAUGHLIN RETAIL STORES TO CREATE ONE SINGLE TENANT STORE WITHIN AN EXISTING TWO STORY, W.D. FRAME AND MASONRY BUILDING WITH A COMBINED FLOOR AREA OF 2455 SQ FT ON THE FIRST AND SECOND FLOORS.

CODE REFERENCE:
2003 INTERNATIONAL EXISTING BUILDING CODE, W/ CITY OF FAIRFIELD AMENDMENTS.

ZONING: NDD DISTRICT

USE CLASSIFICATION: M (MERCANTILE)
NO CHANGE IN USE OR TENANT

BUILDING TYPE: TYPE V

FIRE PROTECTION SYSTEMS

SPRINKLER SYSTEMS : NOT REQUIRED
FIRE ALARM SYSTEMS: REQUIRED, EXISTING SYSTEM TO BE MODIFIED TO MEET NFPA 72 REQUIREMENTS.
PORTABLE FIRE EXTINGUISHERS: REQUIRED, ONE PER FLOOR
SMOKE CONTROL SYSTEMS, NOT REQUIRED
SMOKE AND HEAT VENTS, NOT REQUIRED
FIRE COMMAND CENTER, NOT REQUIRED

EXIT ACCESS:

75' MAX ALLOWED TRAVEL DISTANCE
44' MAX. PROVIDED
OF EXITS PROVIDED : 2 PER FLOOR

OCCUPANCY : REF. TABLE 1004.1.2

1ST FLOOR : MERCANTILE SALES = 1438 SF @ 30 SF / OCCUPANT = 48 > 49 TOTAL
MERCANTILE STOCK = 212 SF @ 300 SF / OCCUPANT = 1
2ND FLOOR : MERCANTILE SALES = 727 SF @ 60 SF / OCCUPANT = 12 > 13 TOTAL
MERCANTILE STOCK = 78 SF @ 300 SF / OCCUPANT = 1

ACCESSIBILITY : REF. 2010 ADA STANDARDS

ALTERATIONS MADE TO PROVIDE AN ACCESSIBLE PATH OF TRAVEL TO THE ALTERED AREA WILL MEET 20% OF THE COST OF THE ALTERATION TO THE PRIMARY FUNCTION AREA.

NOTES:

#	REVISION	DATE
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COVER SHEET

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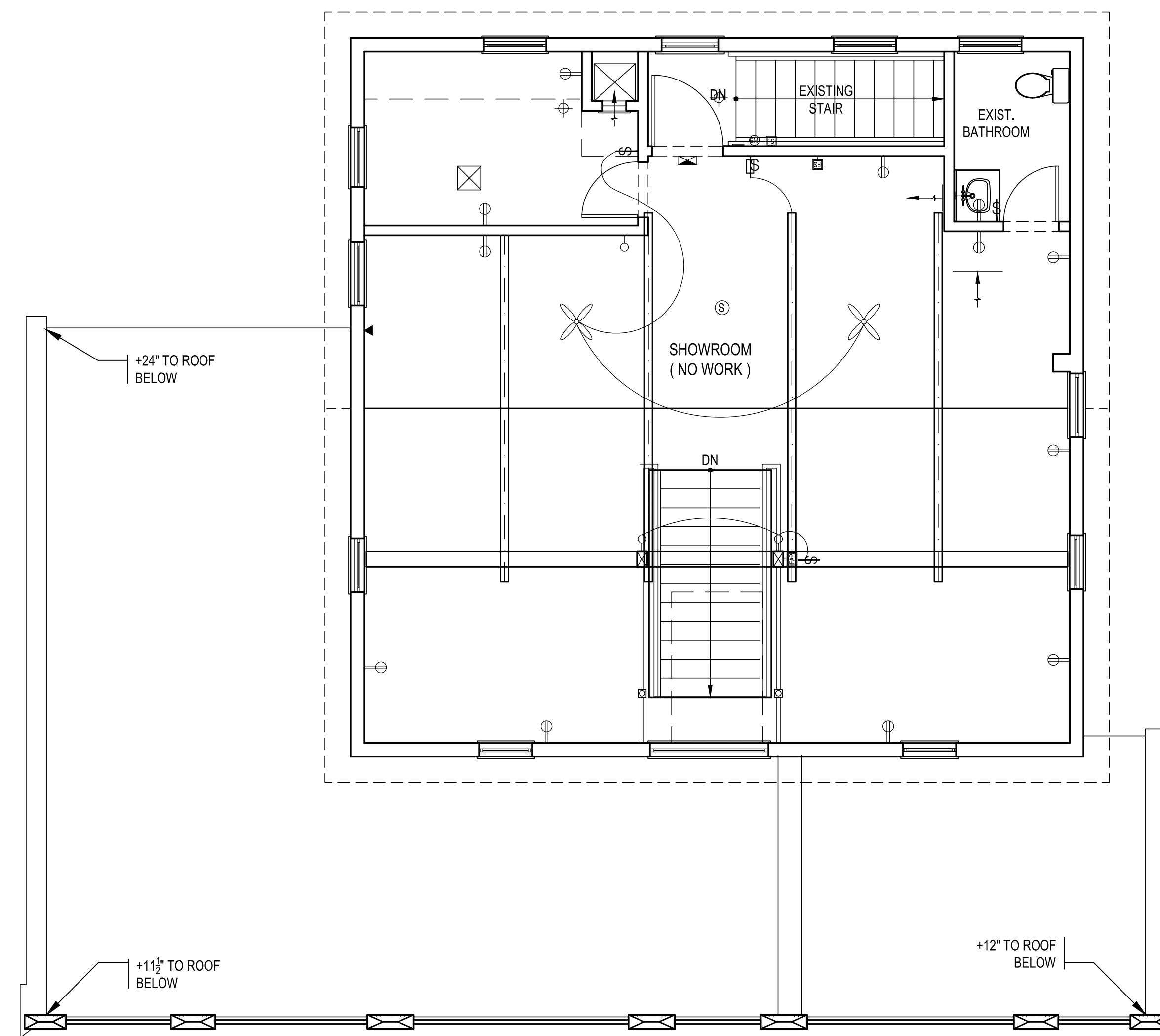
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ELECTRICAL LEGEND	
	SINGLE RECEPTACLE OUTLET
	DUPLEX RECEPTACLE OUTLET
	QUADRUPLUX RECEPTACLE OUTLET
	FLOOR DUPLEX RECEPTACLE OUTLET
	CEILING DUPLEX RECEPTACLE OUTLET
	DATA OUTLET
	TELEPHONE OUTLET
	TELEVISION OUTLET
	WALL SWITCH
	STEREO
	BOOKCASE SPEAKER, ON TOP OF CABINET
	GROUND FAULT INTERRUPTER DUPLEX RECEPTACLE OUTLET
NOTE: SPECIAL HEIGHT OUTLET LOCATIONS ARE AS INDICATED ON PLANS	
	FIRE ALARM STROBE
	FIRE ALARM HORN / STROBE
	FIRE ALARM PULL STATION
	SMOKE DETECTOR

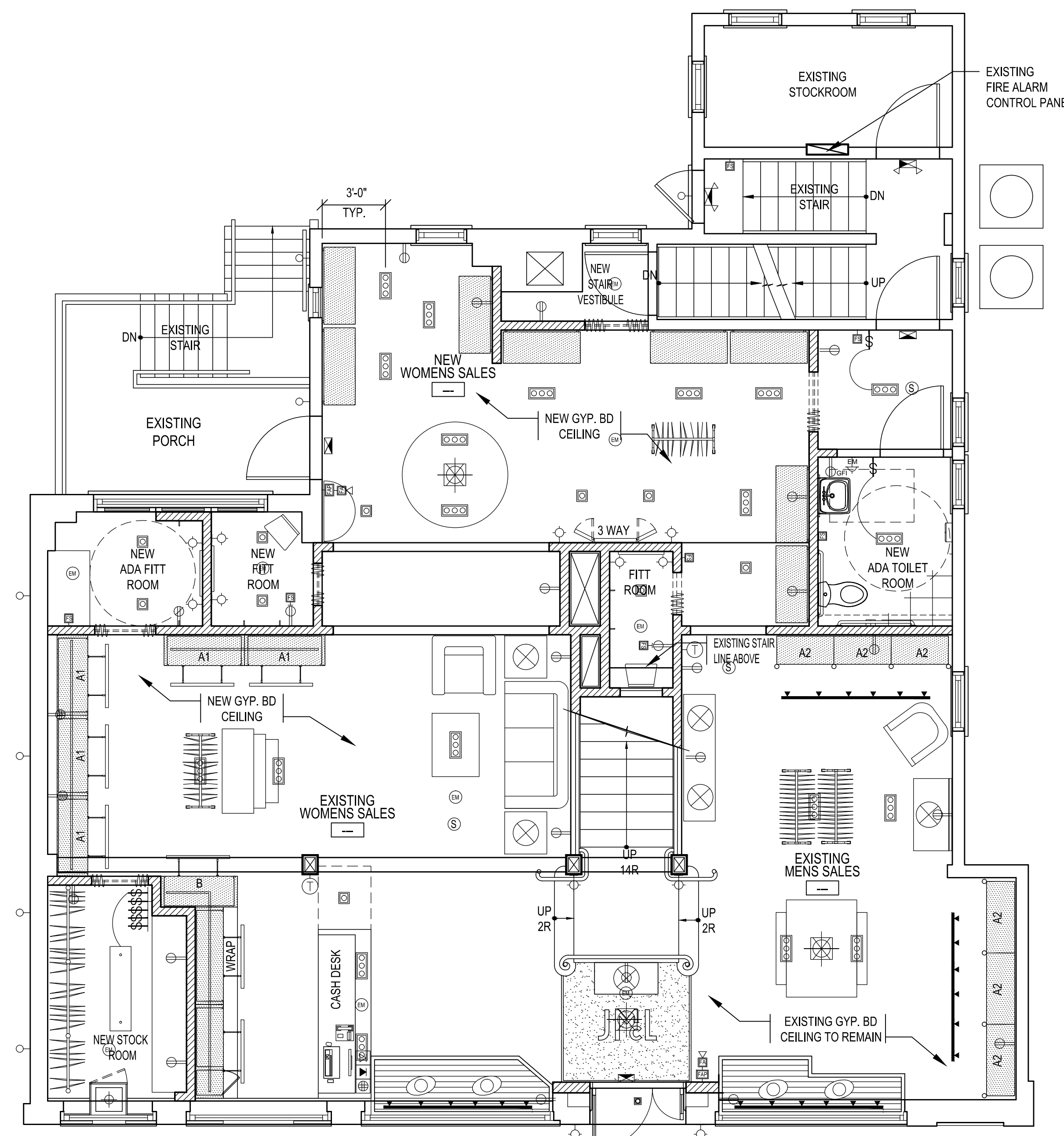
LEGEND			
SYMBOL	DESCRIPTION	MANUFACTURER / MODEL #	LAMPING
	SURFACE MOUNTED SIGN LIGHT	B-K LIGHTING MN-LED-16-SP	(1) 8 WATT 3000K LED
	IN-GRADE UPLIGHT	B-K LIGHTING GD-LED-423-SP	(1) 8 WATT 4000K LED
	PENDANT LUMINAIRE	AXLIGHT GU10 / PAR 16 LED 793362U	6W 25' 3000K
	SURFACE MOUNTED DECORATIVE CEILING LIGHT	SUPPLIED BY OWNER	(6) 25 WATT CANDELABRA
	NEW LINE VOLTAGE TRACK & HEADS @ WINDOW	INTENSE MBM900309W-FL24	(1) 18 WATT LED LAMP PER HEAD
	RECESSED CEILING MULTIPLE SPOT LIGHT	INTENSE ICL-LED850309-3-BW-SP16-1200	(3) 12 WATT 3000K LED
	RECESSED CEILING DOWNLIGHT	INTENSE ICL-LED850309-1-BW-FL24-1200	(1) 12 WATT 3000K LED
	24" OR 36" CABINET ARTLIGHT	HOUSE OF TROY T-LED24 CS WHITE	(2) 1 36" 1 W
	MINI STAGGERED CHANNEL LIGHT AT CASE TOP, 36" 48"	LEGION SERIES 1530	(1) F025-OCT-78 FOR 36" 11 WATT (1) F032-OCT-78 FOR 48" 13 WATT
	DECORATIVE WALL SCONCE	TYPE A : AYRE "METRO 1", ADA TYPE B : AYRE "BOUTIQUE DIA", ADA	(1) 60 WATT INCANDESCENT
	BATHROOM WALL SCONCE	LIGHTOLIER "CIRCLINE" 6700S2UEM WITH EMERGENCY BACKUP BATTERY	PHILLIPS FC9T5, 22 WATT
	SURFACE MOUNTED FLUORESCENT CEILING LIGHT	LAMAR LIGHTING WS/WW SERIES # WS-2-32-EB-U	(2) 32 WATT T8
	CONCEALED EMERGENCY DOWNLIGHT, QUANTITY & LOCATION AS DETERMINED PER LOCAL CODE	CONCEALITE 5000 SERIES	(2) 50 WATT QUARTZ HALOGEN LAMPS
	RECESSED EMERGENCY LIGHT, QUANTITY & LOCATION AS DETERMINED PER LOCAL CODE	ERG SERIES BY ENCORE 12V	(1) 20 WATT PAR 36 SEALED BEAM
	SURFACE MOUNTED COMBINATION EMERGENCY EXIT SIGN W/ LIGHTS	ENCORE LC8 SERIES, SURFACE MOUNTED	(2) 12 WATT T5, (1) LED 2.5 WATT
	COMBINATION EMERGENCY EXIT SIGN W/ LIGHTS, RECESSED	ENDURANCE CX SERIES BY ENCORE, WHITE	(2) 1-1/2 WATT LED (1) LED 2.5 WATT

NOTE 1: LOCAL ARCHITECT TO DETERMINE QUANTITY & LOCATIONS OF EMERGENCY PATH LIGHTS & SIGNS PER LOCAL CODE

- NOTES:**
- PROVIDE SEPARATE CIRCUIT & TIMER FOR NIGHT TIME LIGHTING TO INCLUDE: DISPLAY WINDOW TRACK LIGHTING & DECORATIVE LIGHTS
 - ALL LIGHT SWITCHING TO BE GANGED BY TYPE AND LOCATED @ STOCK ROOM, UNLESS OTHERWISE INDICATED
 - NEW WALL SCONCES TO BE MTD @5/8" AFF TO CENTERLINE OF BOX UNLESS OTHERWISE NOTED AND GROUPED TOGETHER ON CIRCUIT.
 - NEW CONVENIENCE OUTLETS TO BE LOCATED AT +18" AFF UNLESS OTHERWISE NOTED.
 - ELECTRICAL CONTRACTOR TO CONFIRM WITH ARCHITECT RE: LOCATION OF ELECTRICAL OUTLET AND TELE/DATA AT CASH DESK PRIOR TO INSTALL
 - GC TO WIRE NEW BOOKSHELF SPEAKERS BACK TO STOCK ROOM (SEE PLAN NOTE).



2 EXISTING - SECOND FLOOR PLAN - NO WORK
SCALE: 1/4"=1'-0"



1 PROPOSED - FIRST FLOOR PLAN - ELECTRICAL
SCALE: 1/4"=1'-0"

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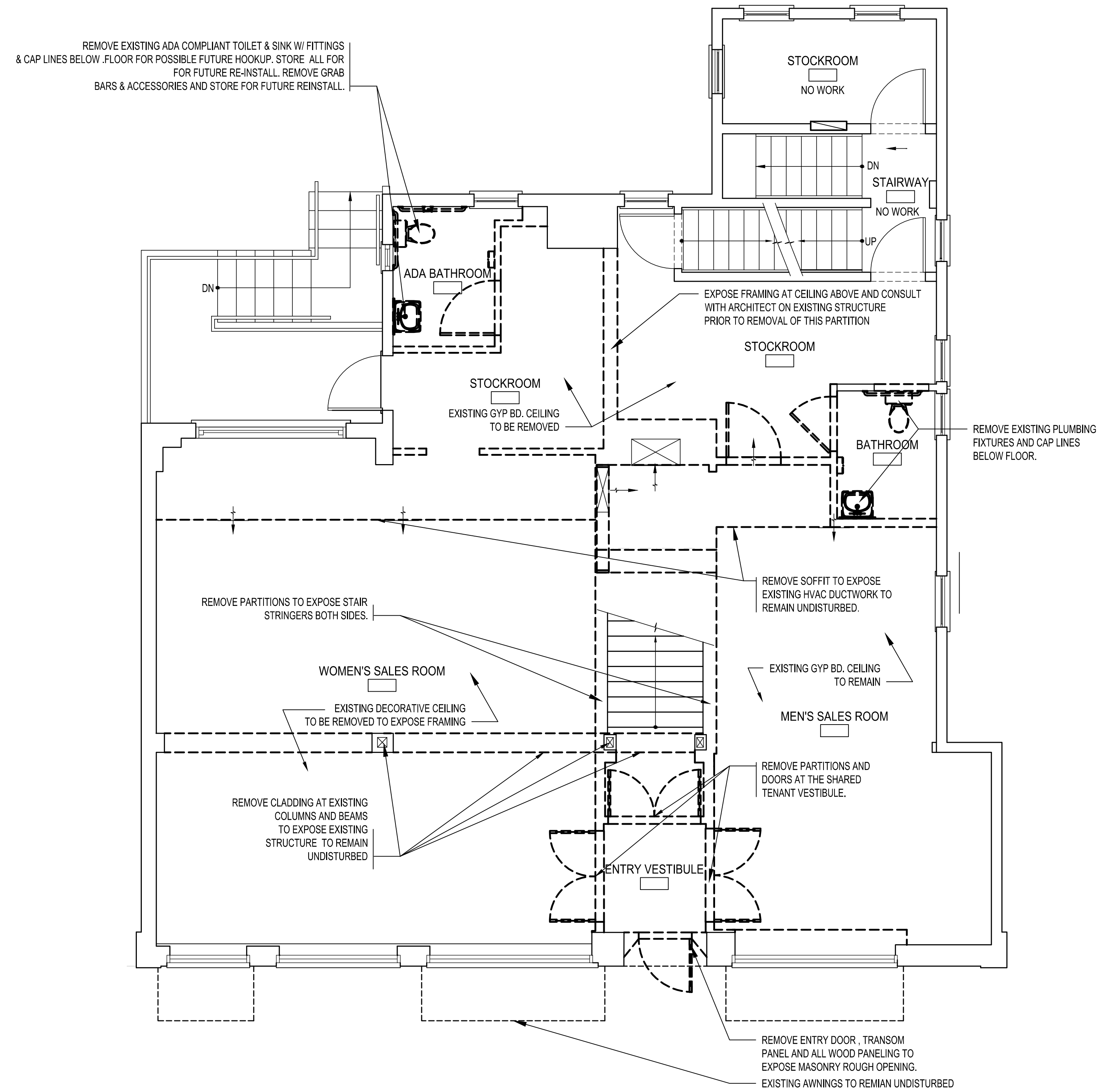
**ELECTRICAL / LIGHTING
PLAN - FIRST FLOOR & SECOND
FLOOR PLAN**

JOB NUMBER:	10-10	STAMP:
SCALE:	1/4"=1'-0"	
ISSUE DATE:	10/15/2013	
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NOTES:

1. REMOVE EXISTING NON STRUCTURAL PARTITIONS ONLY. EXISTING STRUCTURAL COLUMNS AND BEAMS TO BE EXPOSED ONLY AND REMAIN UNDISTURBED. CONSULT WITH ARCHITECT ON ALL EXPOSED STRUCTURE PRIOR TO NEW REMOVAL.
2. EXPOSE STRINGER ON EXISTING STAIRCASE WHILE REMOVING PARTITIONS ABOVE AND BELOW WITHOUT DISTURBING STRUCTURE.
3. REMOVE ENTRY VESTIBULE
4. REMOVE EXISTING ADA BATHROOM AND SALVAGE ALL FIXTURES, FITTINGS AND ACCESSORIES FOR RE-USE IN NEW ADA BATHROOM.
5. EXISTING HVAC DUCTWORK TO BE EXPOSED AND LEFT EXISTING FOR MODIFICATION AS REQUIRED FOR NEW LAYOUT. CONSULT WITH ARCHITECT ON EXACT LOCATIONS AND SIZES OF SUPPLY AND RETURN AIR PENETRATIONS AT FLOOR.
6. CONSULT WITH ARCHITECT RE: ALIGNMENT OF CEILINGS AT COMBINED SALES AREAS WHERE DECORATIVE CEILINGS ARE TO BE REMOVED.



1 DEMOLITION - FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

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DEMOLITION PLAN

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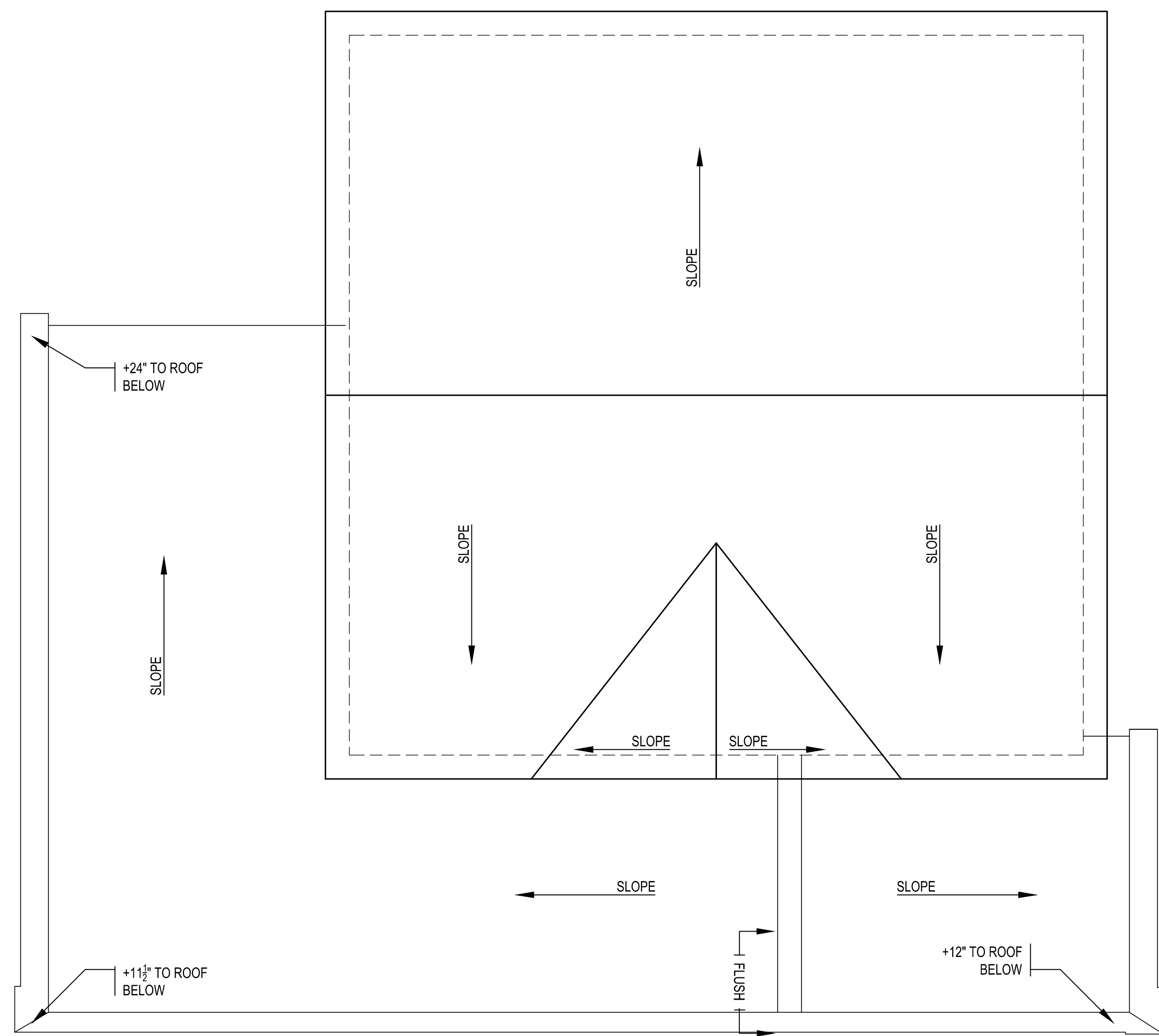
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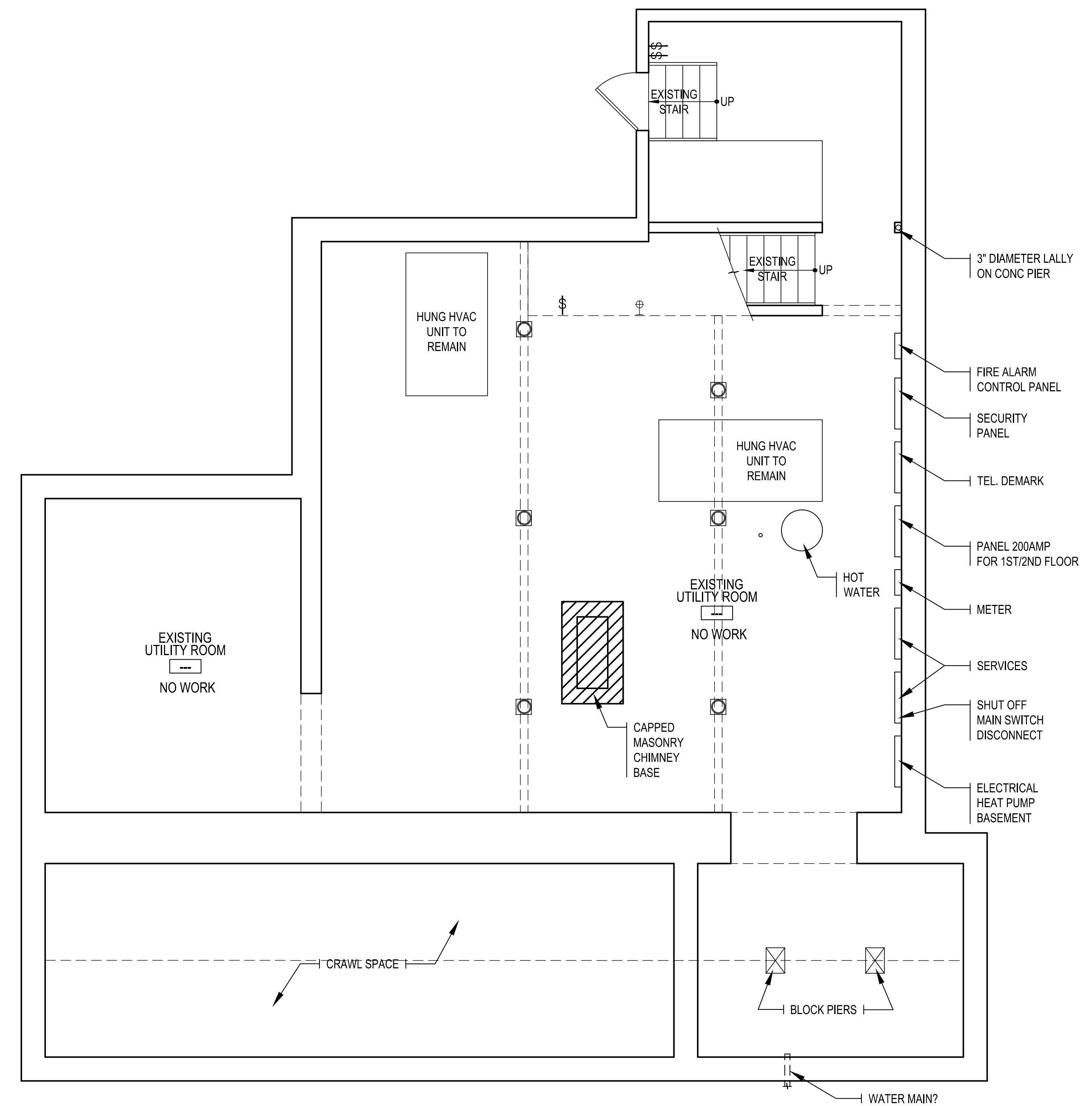
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NOTES:
 1) SEE GENERAL NOTES & PROJECT MANUAL.



2 EXISTING - ROOF PLAN
 SCALE: 1/4"=1'-0"



1 EXISTING - BASEMENT FLOOR PLAN
 SCALE: 1/4"=1'-0"

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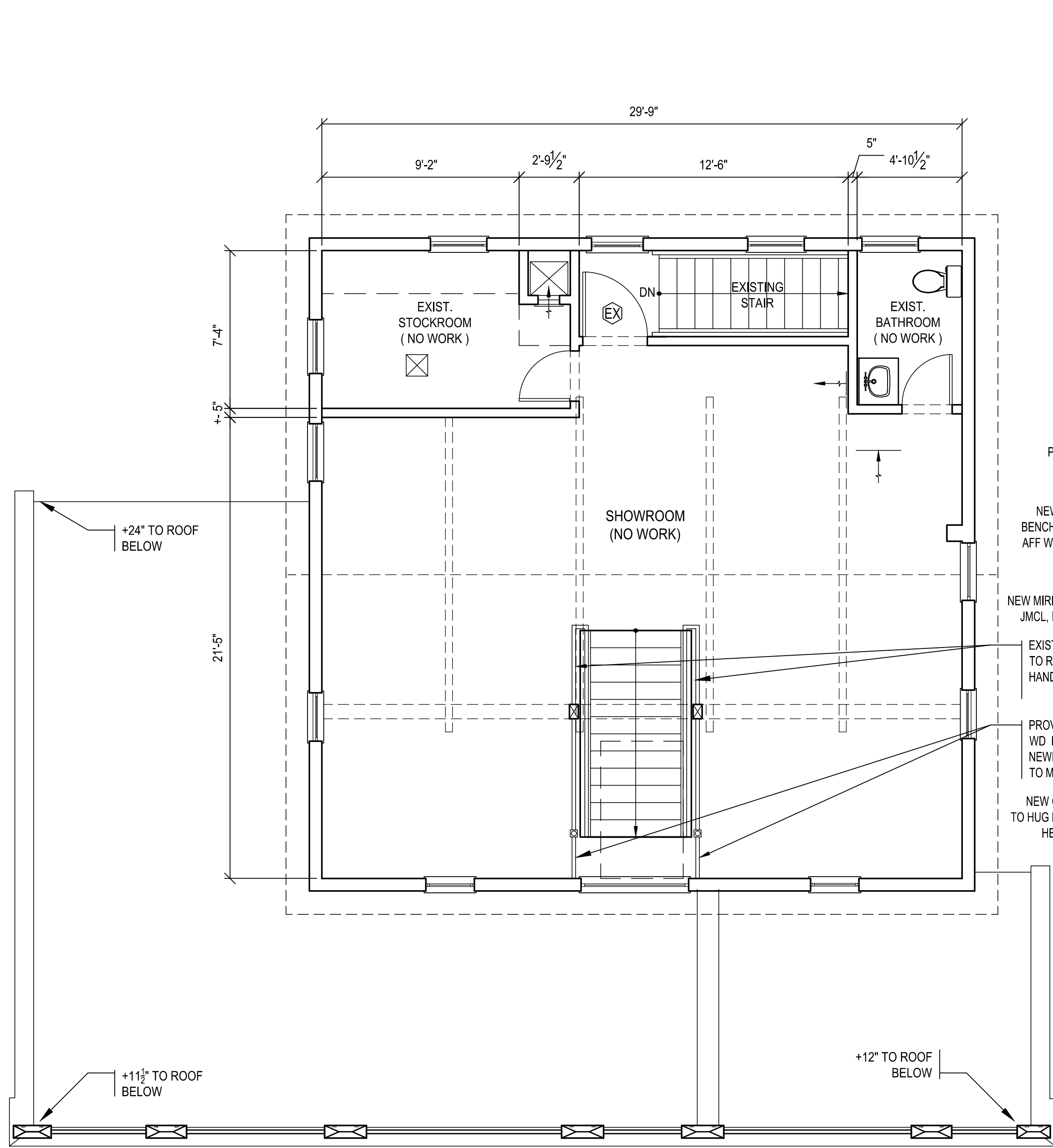
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**EXISTING CONDITIONS
 ROOF & BASEMENT FLOOR
 PLANS**

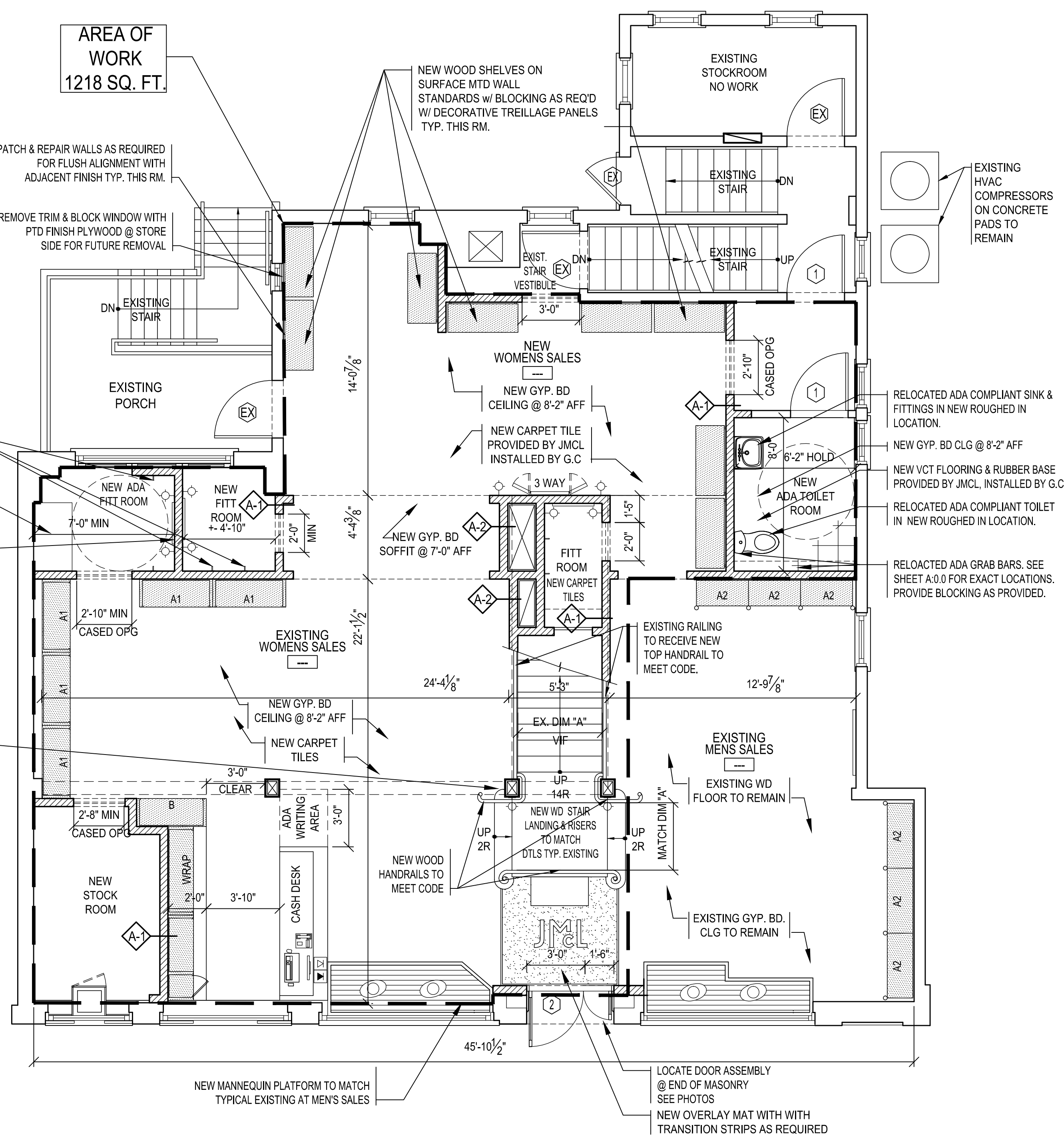
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EX:1.1



2 EXISTING - SECOND FLOOR PLAN - SHOWROOM NO WORK
SCALE: 1/4"=1'-0"



1 PROPOSED - FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

LEGEND

AREA OF WORK

EXISTING DEMISING WALLS TO REMAIN

NEW GYP. BOARD PARTITION WITH 3-5/8" METAL STUDS 16" O.C TO UNDERSIDE FRAMING WITH 5/8" GYP. BD. EACH SIDE & INTERIOR BLOCKING AS REQUIRED.

NEW 1/2 HR FIRE RATED ASSEMBLY @ VERTICAL OPG TO MEET CODE WITH MTL STUDS & GYP BD.

EXISTING COLUMN TO RECEIVE NEW ENCLOSURE W/ MTL STUDS AND 5/8" GYP BD.

EXISTING DOOR TO BE MODIFIED AS REQ'D TO MEET ADA COMPLIANCE TO INCLUDE LEVER HANDSET AND MORTISED HEAD CLOSER.

NEW 2'-10" X 6'-8" HMSC DOOR & FRAME WITH ADA COMPLIANT HARDWARE TO INCLUDE LEVER HANDLE & MORTISED HEAD CLOSER.

NEW 2'-10" X 6'-8" WD. DOOR WITH OPERABLE SIDE LIGHT BY SIMPSON SERIES 506 WITH THERMAL GLASS & ADA COMPLIANT HARDWARE, SUPPLIED & INSTALLED BY G.C. WITH EXTERIOR PAINT GRADE BUILT UP SHEATHING & TRIM. SEE DETAIL SHEET

- NOTES:**
- GC TO PREPARE FOR PAINT & PAINT PRIMER PLUS TWO FINISH COATS THROUGHOUT. SEE INTERIOR ELEVATION PAINT SCHEDULE FOR MORE INFORMATION.
 - THE GC IS TO INSTALL (RECEIVE, UNCRATE, & PLACE ON FLOOR) ALL OWNER PROVIDED ITEMS, INCLUDING BUT NOT LIMITED TO: CABINETS, CASHDESK, FURNITURE, FLOOR RACKS, SHELVING HARDWARE, HOOKS, BARS, CARPET TILES, AREA RUGS, LIGHTING, & MISCELLANEOUS DECORATIVE ELEMENTS AS NOTED ON PLANS. G.C. TO PROVIDE BLOCKING AS REQUIRED FOR INSTALL OF CASES, DECORATIVE MIRRORS, HOOKS, BARS, DECORATIVE SCREENS AS NOTED ON DRAWINGS.
 - GC TO PROVIDE & INSTALL MISCELLANEOUS TEMPERED SITE GLAZING FOR OWNER PROVIDED DECORATIVE MIRRORS & FLOOR RACKS AS NOTED ON PLANS & ELEVATIONS.
 - GC TO PROVIDE PLAM COUNTER TOP, WHITE MDF SHELVING IN STOCK AREA AS INDICATED. STANDARDS, BRACKETS, & HOOKS TO BE PROVIDED BY JMcl. REFER TO PLANS FOR MORE INFORMATION.
 - EXISTING MEP SYSTEMS TO REMAIN AND BE MODIFIED AS REQUIRED FOR NEW LAYOUT. PROVIDE FIRE RATED ENCLOSURE AT SHAFTS & SMOKE DETECTORS @ DUCTWORK PER CODE.
 - EXISTING FIRE DETECTION SYSTEM IN COMPLIANCE WITH NFPA 72 SHALL BE REACTIVATED UPON COMPLETION OF CONSTRUCTION WITH A CERTIFICATE OF OPERATION FROM THE FIRE ALARM VENDOR.

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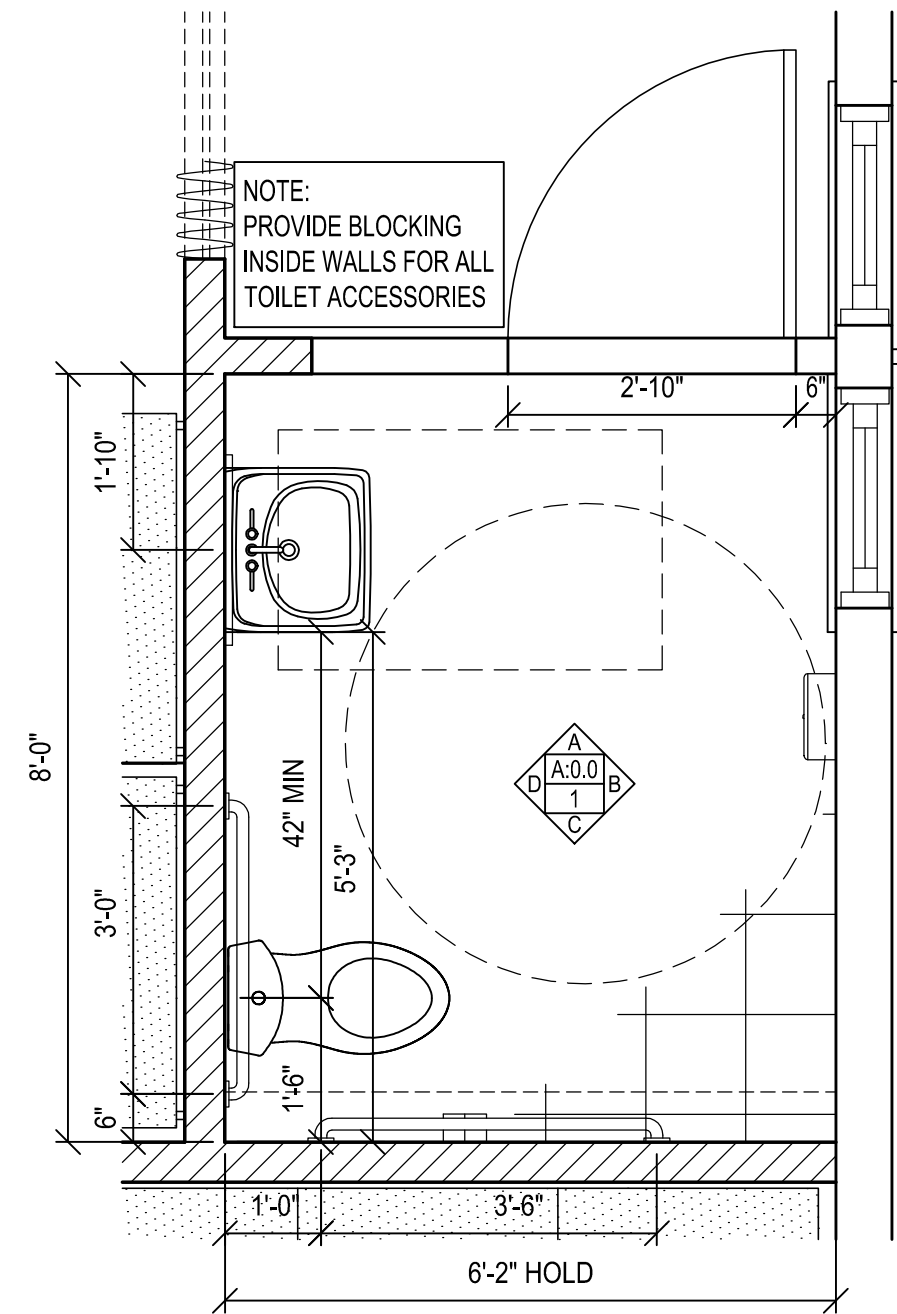
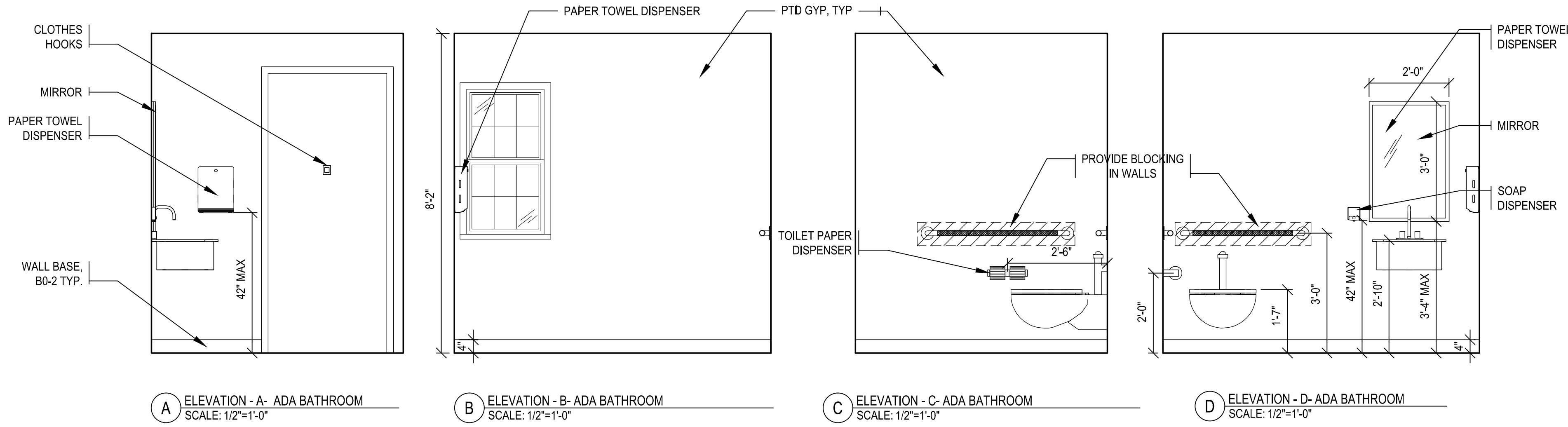
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PROPOSED - FIRST & SECOND FLOOR PLANS

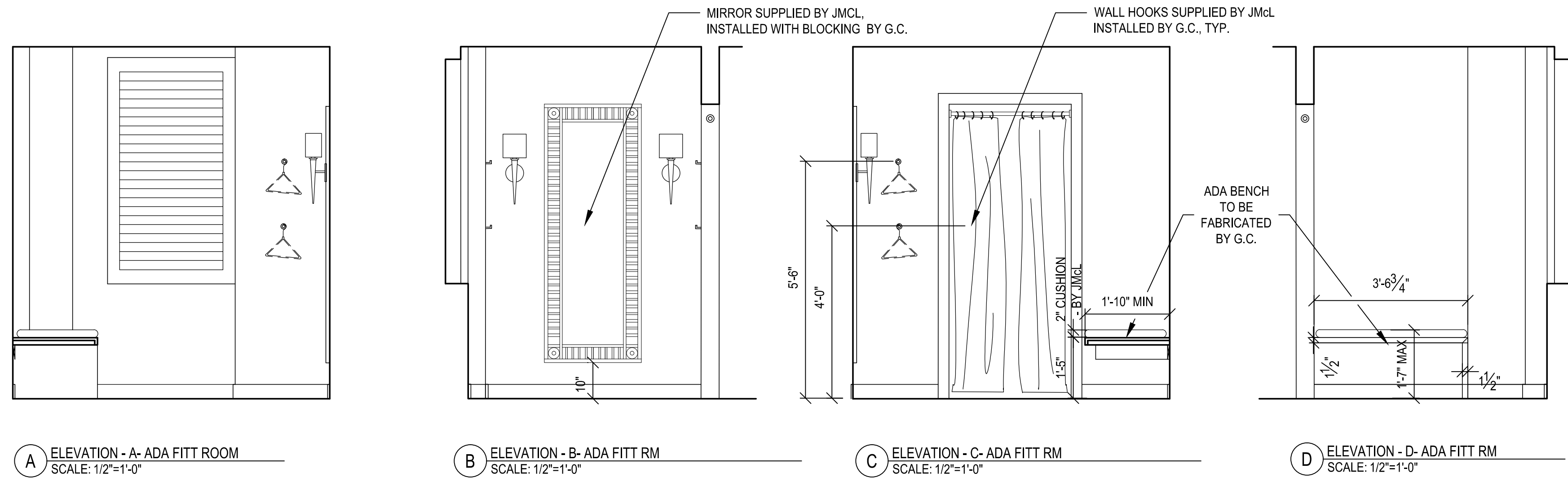
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4 ENLARGED - NEW ADA BATHROOM PLAN
SCALE: 1/2"=1'-0"

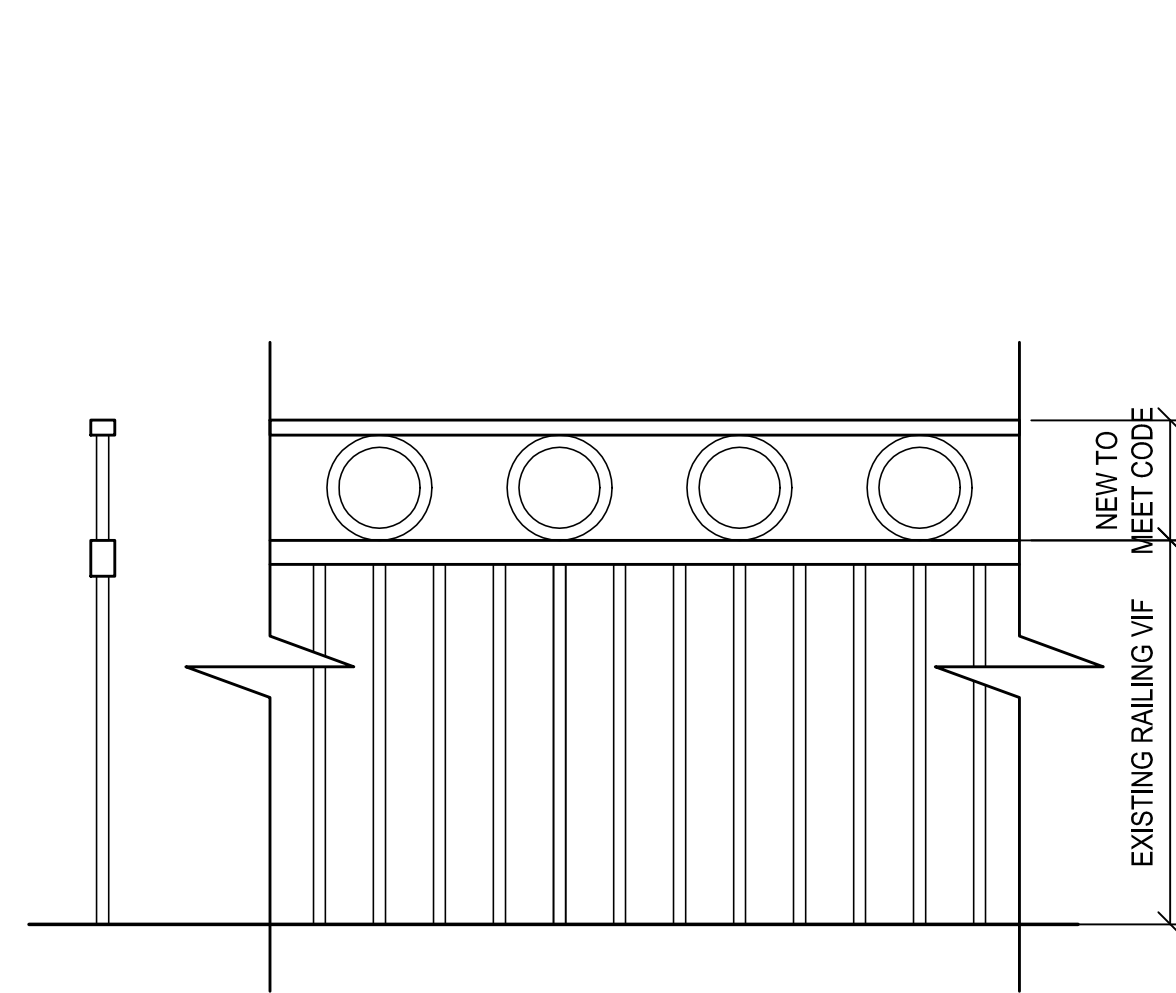


A ELEVATION - A - ADA FITT ROOM
SCALE: 1/2"=1'-0"

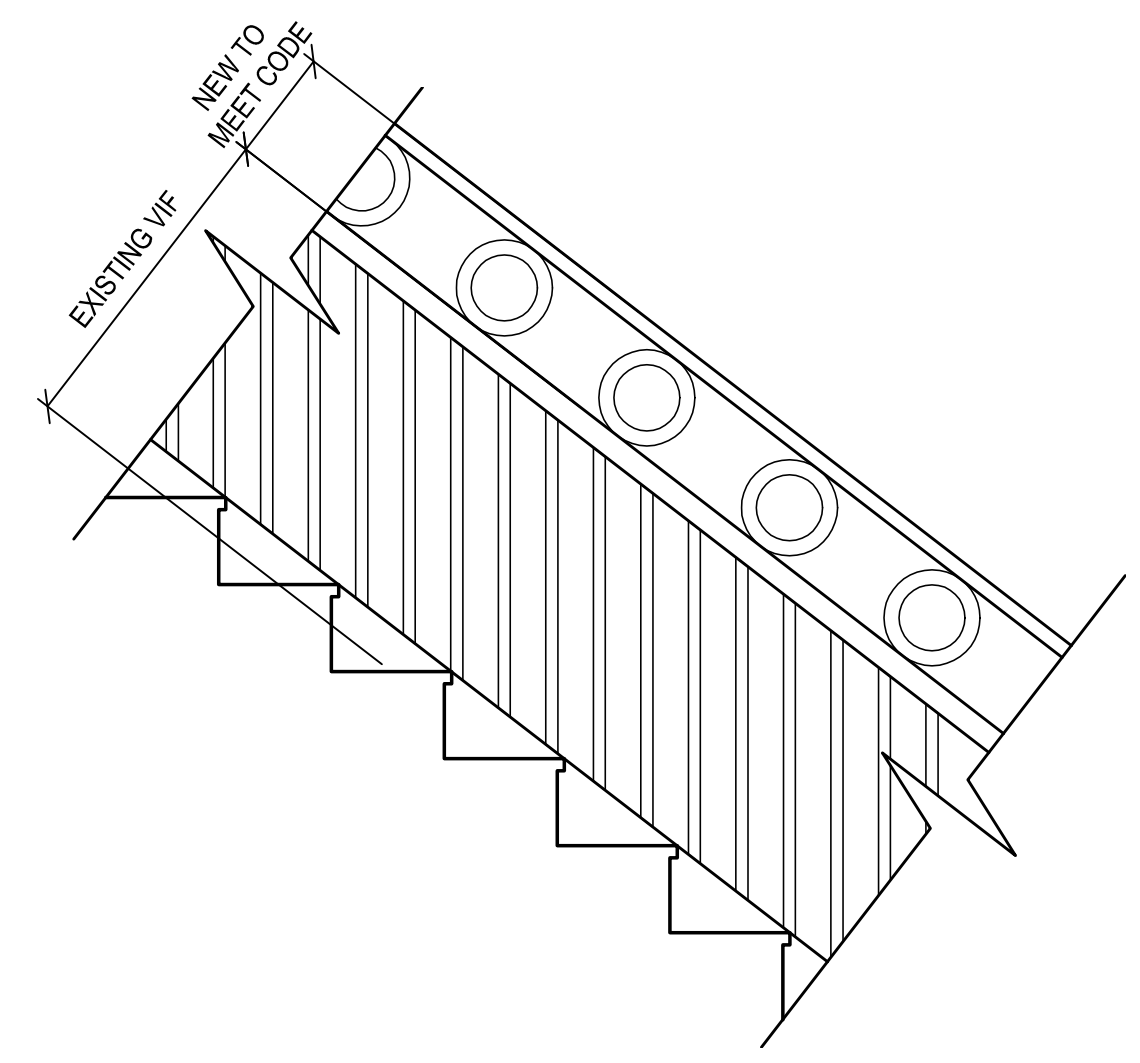
B ELEVATION - B - ADA FITT RM
SCALE: 1/2"=1'-0"

C ELEVATION - C - ADA FITT RM
SCALE: 1/2"=1'-0"

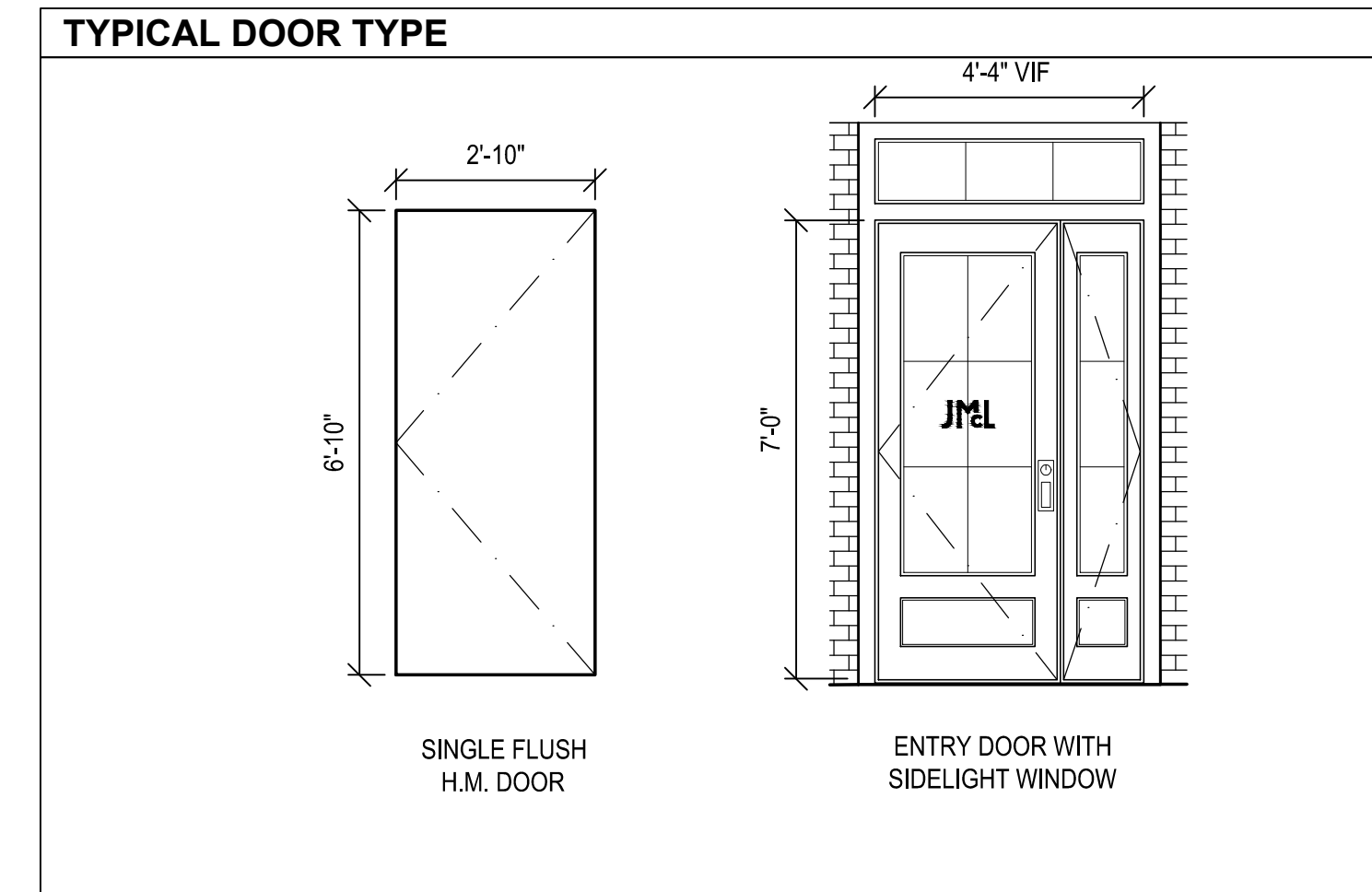
D ELEVATION - D - ADA FITT RM
SCALE: 1/2"=1'-0"



3 ELEVATION - DETAIL AT NEW STAIR HANDRAIL
SCALE: 1/2"=1'-0"



2 ELEVATION - DETAIL AT NEW STAIR RAIL
SCALE: 1/2"=1'-0"



4 ELEVATION - NEW DOORS
SCALE: 1/2"=1'-0"

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**ACCESSIBILITY
& DOOR SCHEDULE**

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