

Table 5-1 & 5-2 Fire Divisions & Separations <i>Note:</i> Fire Divisions and Fire Separations for new wall construction per New Code				
Occupancy Group of Building:	Fire Index of Building:	Notes:		
J-1 (R-1 2008)	1	Provide 1-hr Fire Separation between Dwelling Units per BC 27-341(a)		
Other Occupancies in Building:	Description:	Fire Index of Spaces:	Type of Separation Required:	Required Rating per Table 5-1 & 5-2 (hrs)
F-3 (A-3 2008)	Cellar Pool Area	1	Fire Separation	1
F-4 (A-2 2008)	First Fl Cafe (No cooking)	1	Fire Separation	1
D-2 (F-2 2008)	Boiler and Meter Room, Fire Pump Room, Pool Equipment Room	2	Fire Division	2
Table 6-1 Exit and Access Requirements				
Occupancy Group of Building	J-1 (R-1 2008)			
Occupant Load per Floor	5 Dwelling Units, 2P per Unit = 10P per Floor			
Primary Vertical Means of Egress	Interior Scissor Stair A & Stair B			
Secondary Vertical Means of Egress	Exterior Stair C			
Fully Sprinklered?	Yes			
Maximum Travel Distance:	200'			
Proposed Travel Distances:				
Cellar	66' < 200' = Complies			
First Floor	71' < 200' = Complies (Rear Addition)			
2nd & 3rd Floors	79' < 200' = Complies (Rear Addition) 38' < 200' = Complies (Front Building)			
4th Floor	38' < 200' = Complies (Front Building)			
5th Floor	33' < 200' = Complies (Front Building)			
Required Door Opening Capacity- To Outdoors at Grade:	50P per 22" Unit Max			
Proposed Door Opening- To Outdoors at Grade:	Aggregate Occupant Load: 14 Hotel Rooms x 2P per Room = 28P First Floor Cafe = 28P Employees: 5P Total: 61P Pair of 30" Doors (First Floor Lobby) = 1.5 Units @ 50P/Unit = 75P max > 61P Act = Complies <u>Accommodates 100% of Occupant Load</u> First Floor Exit Passageway One (1) 36" Wide Door 1.5 Units @ 50P/Unit = 75P Max > 61P Act = Complies <u>Accommodates 100% of Occupant Load</u>			
Required Door Opening Capacity- All Other Exit and Corridor Doors:	40P per 22" Unit Max			
Required Exit Stair and Escalator Capacity:	30P per 22" Unit Max			
Proposed Exit Stair Capacity:	Stair A = 40"/22 = 1.5 Units Stair B = 40"/22 = 1.5 Units Stair C = 36"/22 = 1.5 Units 4.5 Units @ 30P/Unit = 135P Max > 10P Act per Floor = Complies			
Minimum Stair Width for J-1 per 27-375(b)(1):	36" Stair OK for 30P Max Per Stair			
Required Corridor, Exit Passageway, Ramp, Horizontal Exit Capacity:	50P per 22" Unit Max			
Proposed Exit Passageway Capacity:	<u>Street Floor Lobby:</u> 4'-1" at narrowest point 49"/22 = 2 Units 2 Units x 50P/Unit = 100 P Max < 61P Act <u>Accommodates 100% of Occupant Load</u> <u>First Floor Exit Passageway:</u> 3'-8" Wide 44"/22 = 2 Units 2 Units x 50P/Unit = 100 P Max < 61P Act <u>Accommodates 100% of Occupant Load</u>			
Proposed Corridor Capacity:	<u>Interior Corridors:</u> One (1) 48" Corridor = 48/22 = 2 Units @ 50P/Unit = 100P Max > 6p Act (per floor) = Complies <u>Exterior Corridors:</u> One (1) 44" Corridor = 44/22 = 2 Units @ 50P/Unit = 100P Max > 10p Act (per floor) = Complies			
Corridors-Minimum Width:	36" Min			
Proposed Corridor Width:	48" & 44" Proposed > 36" Min = Complies			
Corridor-Max Dead End:	40' Max			
Proposed Dead End Corridor:	None - See Floor Plans			

Table 3-4 Construction Classifications			
Construction Class of Building:	Existing Building: Old Code Class 3 NFP (II-B equivalent) Additions: Class I-D Non-Combustible		
Construction Element:	Req'd Rating in Hrs:	Prop Rating in Hrs:	Comments
Exterior Walls w/Separation of:			
3' or less, Bearing	2	2	
30' or more, Non-bearing	0	0	Rear Addition End Walls
Enclosure of Vertical Exits, Exit Passageways, Hoistways, and Shafts	2	2	
Columns, Girders, Trusses: (other than Roof Trusses)			
Supporting one floor	1	1	
Supporting more than one floor	1	1	
Structural Members supporting a Wall	Same as Wall Supported	Same as Wall Supported	PH Support Members
Floor Construction incl Beams:	1	1	
Roof Construction:			
15' or less in ht above floor:	1	1	

Table 4-2 Area and Height Limitations for Sprinklered Bldgs	
Occupancy Group of Building	J-1 (R-1 2008)
Fully Sprinklered?	Yes
Project Located Within a Fire District?	Combination Sprinkler/Standpipe System
Construction Classification:	Existing Building: Class II-B Proposed Additions: Class I-D
Permitted Within Fire District?	Yes
Max Gross Area Per Floor:	NL for II-B (Existing) NL for I-D (Additions)
Proposed Gross Area per Floor (Sq Ft):	See Gross Floor Area Table Below, per Story
Maximum Height (Ft):	85'-0"
Proposed Height (Ft)	61'-3" < 85'-0" = Complies
Maximum Height (Stories)	7
Proposed Height (Stories)	5 = Complies

Gross Floor Area			
	Existing To Remain	Proposed Additions	Total
Cellar	1272	1300	2572
First	1272	548	1820
Second	1272	548	1820
Third	1272	548	1820
Fourth	1272	0	1272
Fifth	0	815	815
Total	6360	3759	10119

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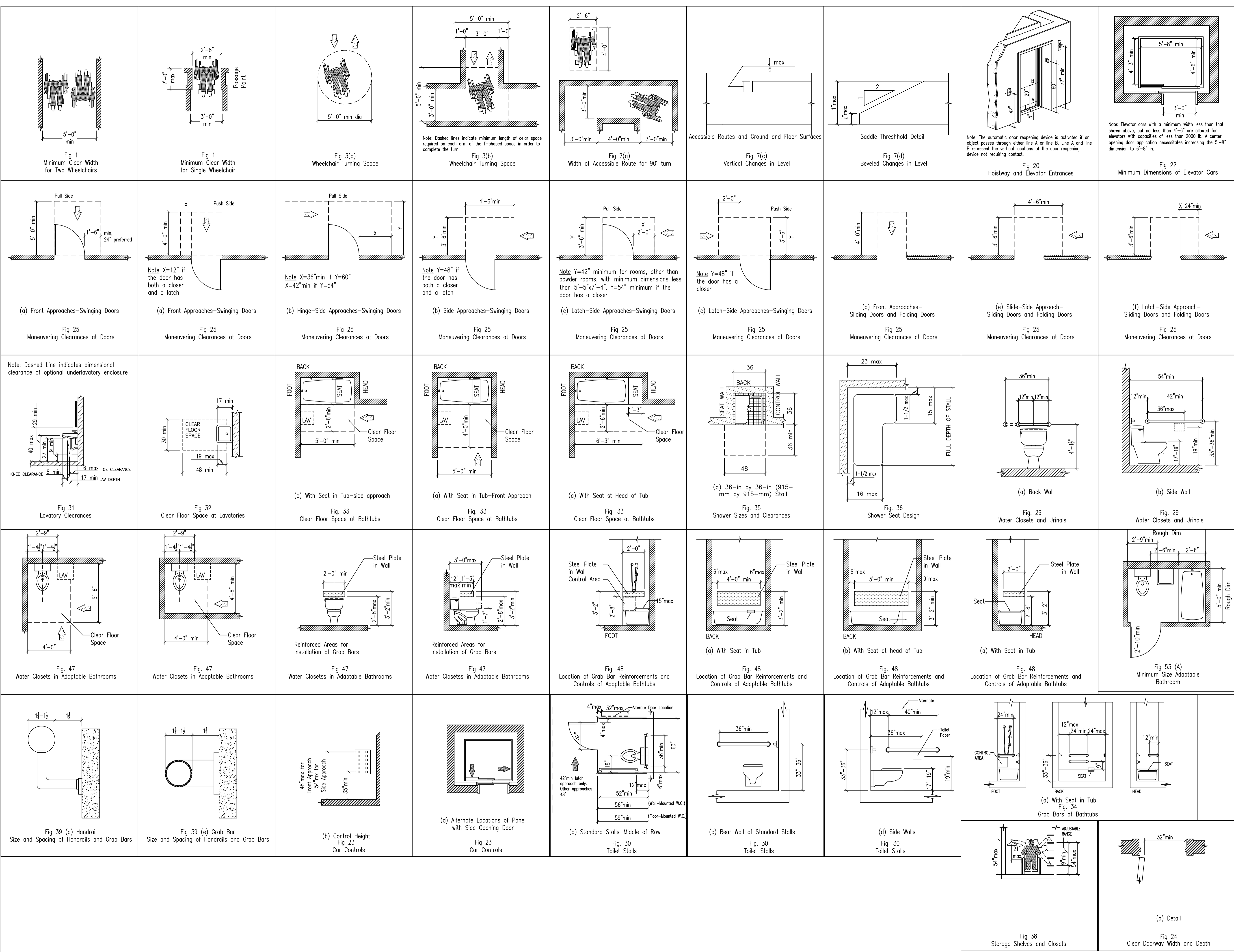
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Drawing Number:

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DRAWING TITLE:

ACCESSIBILITY DIAGRAMS

Drawing Number:

G-002.00

Legend:

- Existing Brick/Masonry wall to remain
- Existing wall/partition to remain
- Existing wall/partition/building element to be demolished
- Existing Door to be demolished
- Existing plumbing fixture & associated piping to be removed.

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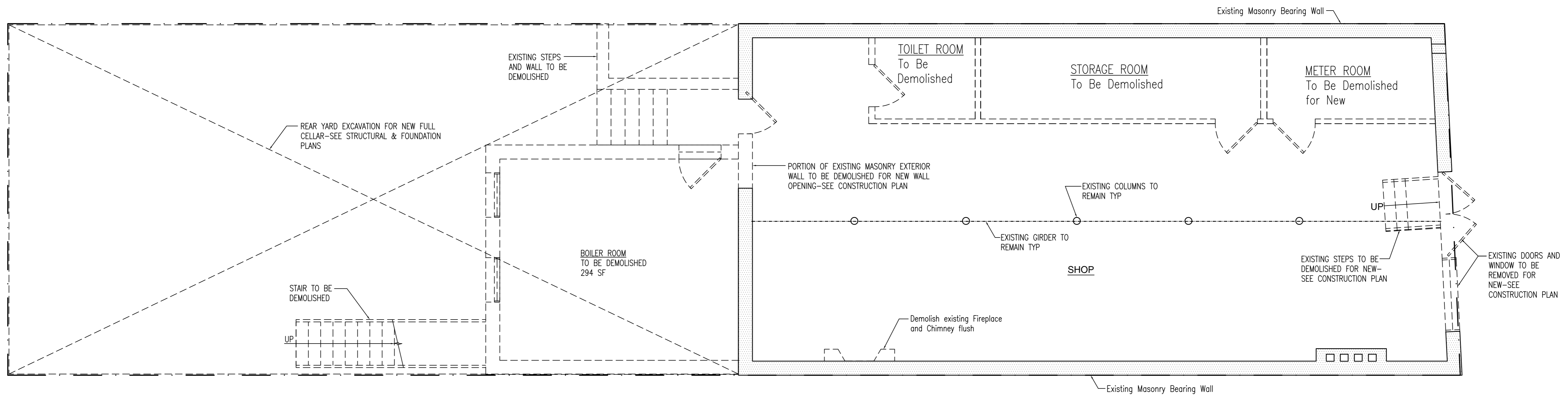
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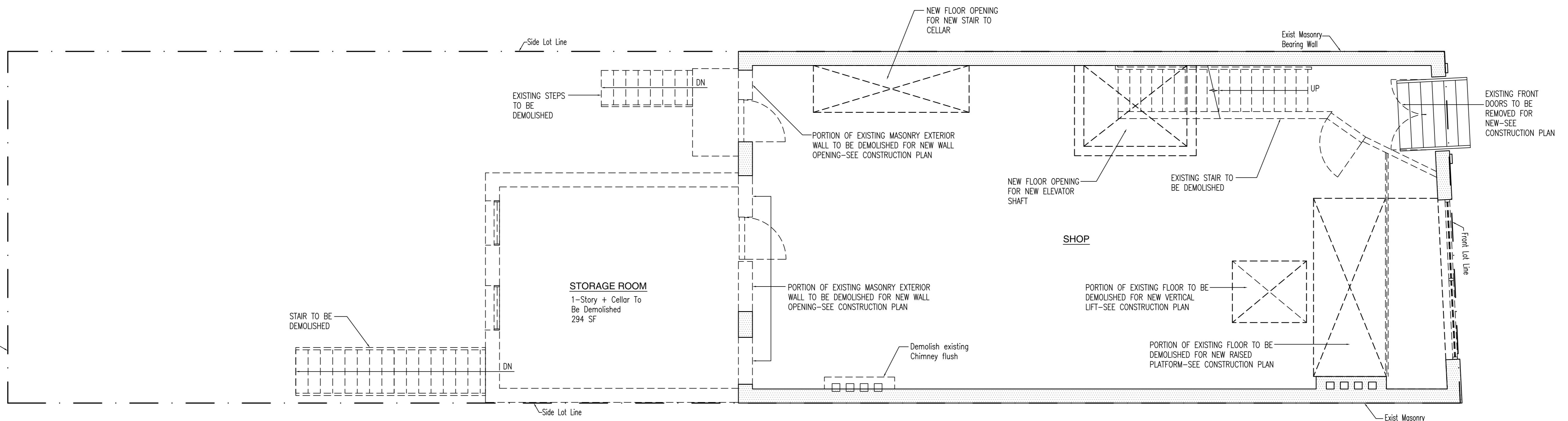
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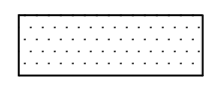
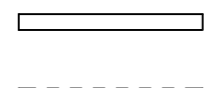
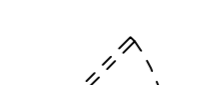
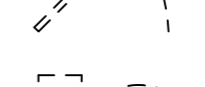



1 Cellar Demolition Plan
 SCALE: 1/4" = 1'-0"



2 First Floor Demolition Plan
 SCALE: 1/4" = 1'-0"

Legend:

-  Existing Brick/Masonry wall to remain
-  Existing wall/partition to remain
-  Existing wall/partition/building element to be demolished
-  Existing Door to be demolished
-  Existing plumbing fixture & associated piping to be removed.

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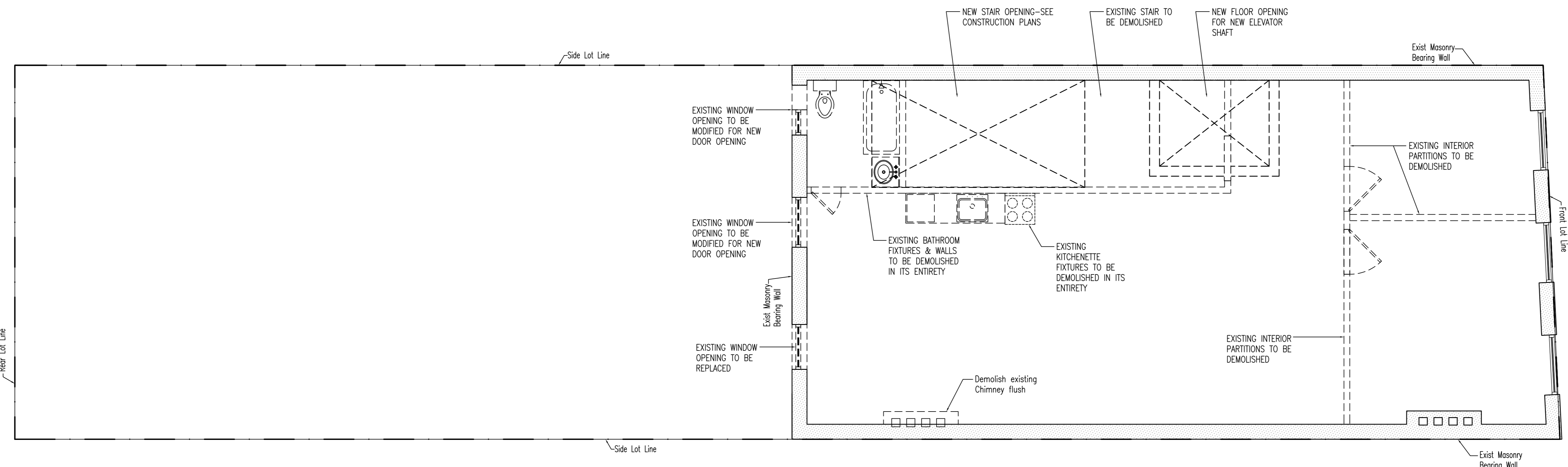
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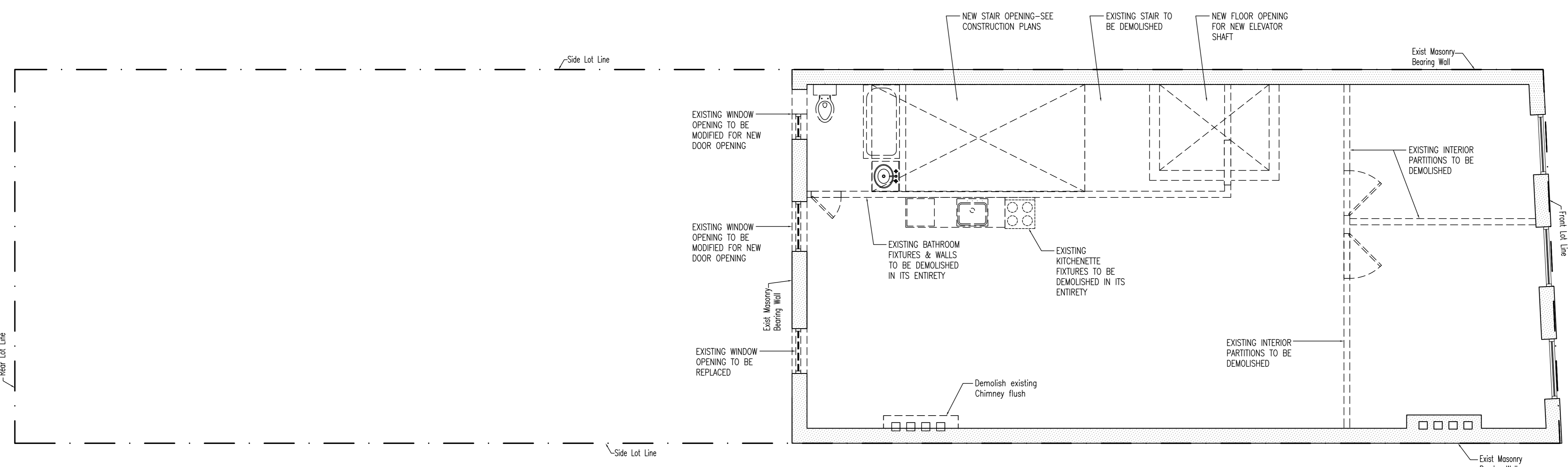
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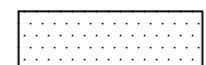
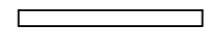
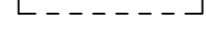
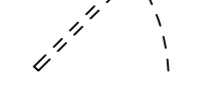



1 Second Floor Demolition Plan
 SCALE: 1/4" = 1'-0"



2 Third Floor Demolition Plan
 SCALE: 1/4" = 1'-0"

Legend:

-  Existing Brick/Masonry wall to remain
-  Existing wall/partition to remain
-  Existing wall/partition/building element to be demolished
-  Existing Door to be demolished
-  Existing plumbing fixture & associated piping to be removed.

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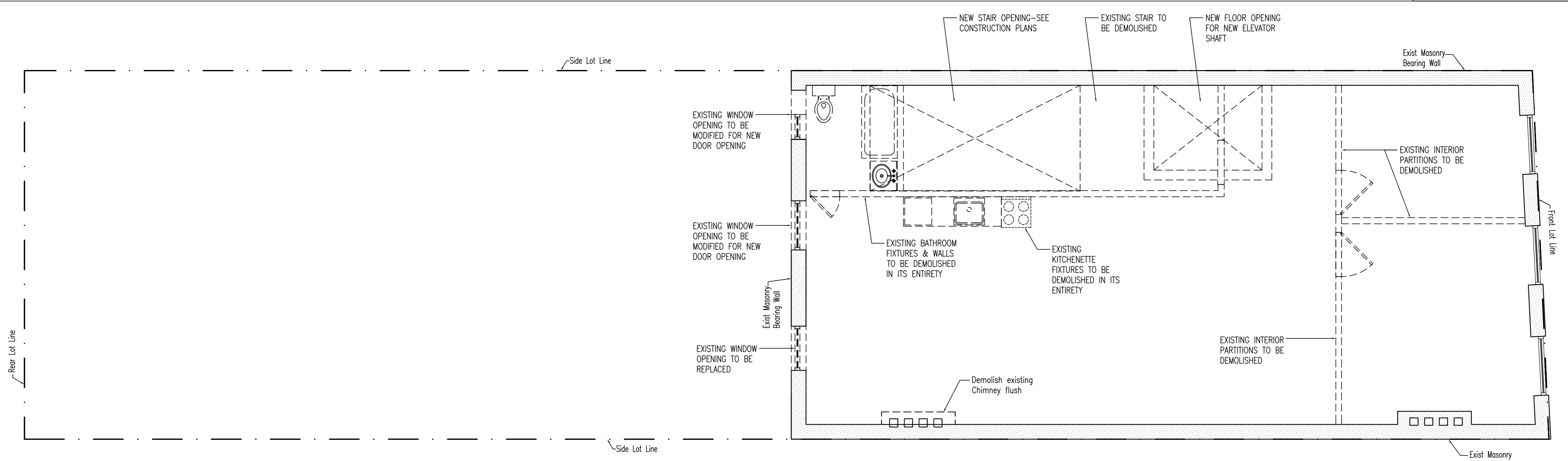
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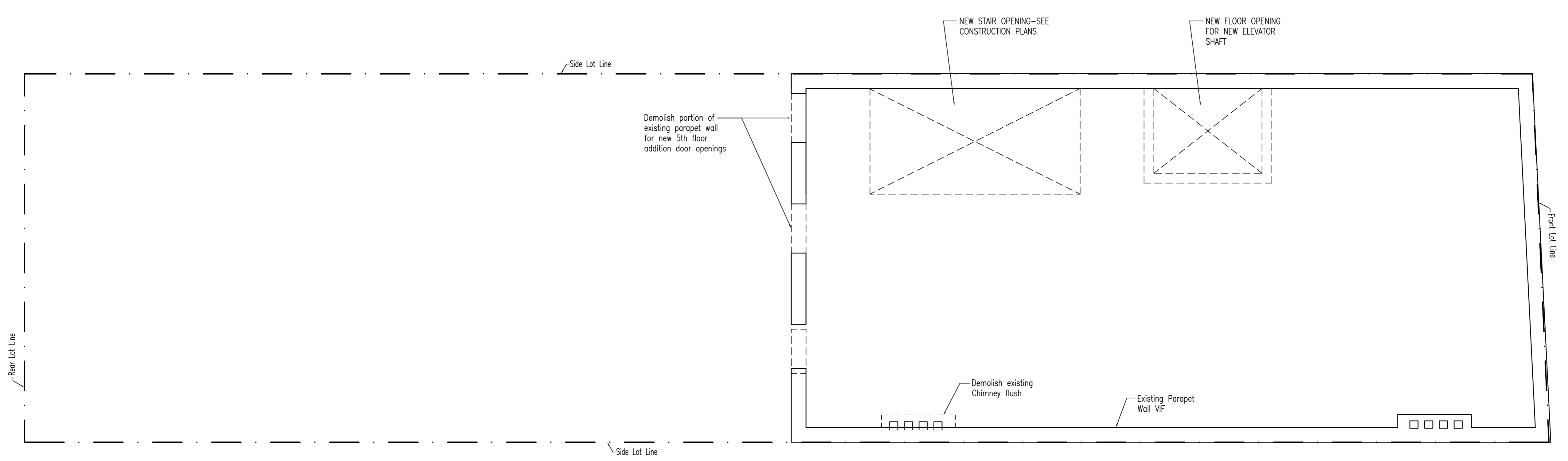
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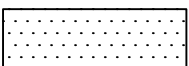


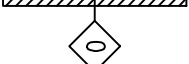
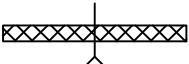



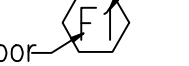




1 Fourth Floor Demolition Plan
 SCALE: 1/4" = 1'-0"



2 Roof Demolition Plan
 SCALE: 1/4" = 1'-0"

Legend:

-  Existing Brick/Masonry wall to remain
-  New Concrete Foundation Wall
-  New Concrete Block Wall
-  New Interior non-rated partition. See Partition Details.
-  New 1-hr rated wall/partition. See Partition Details.
-  New 2-hr rated wall/partition. See Partition Details.
-  New Door—Refer to Door Schedule
-  New Window—Refer to Window Schedule
-  NYC-Approved Hardwired Smoke Detector
-  NYC-Approved Hardwired Carbon Monoxide Detector complying with RS 17-13
-  NYC-Approved, internally-illuminated exit sign

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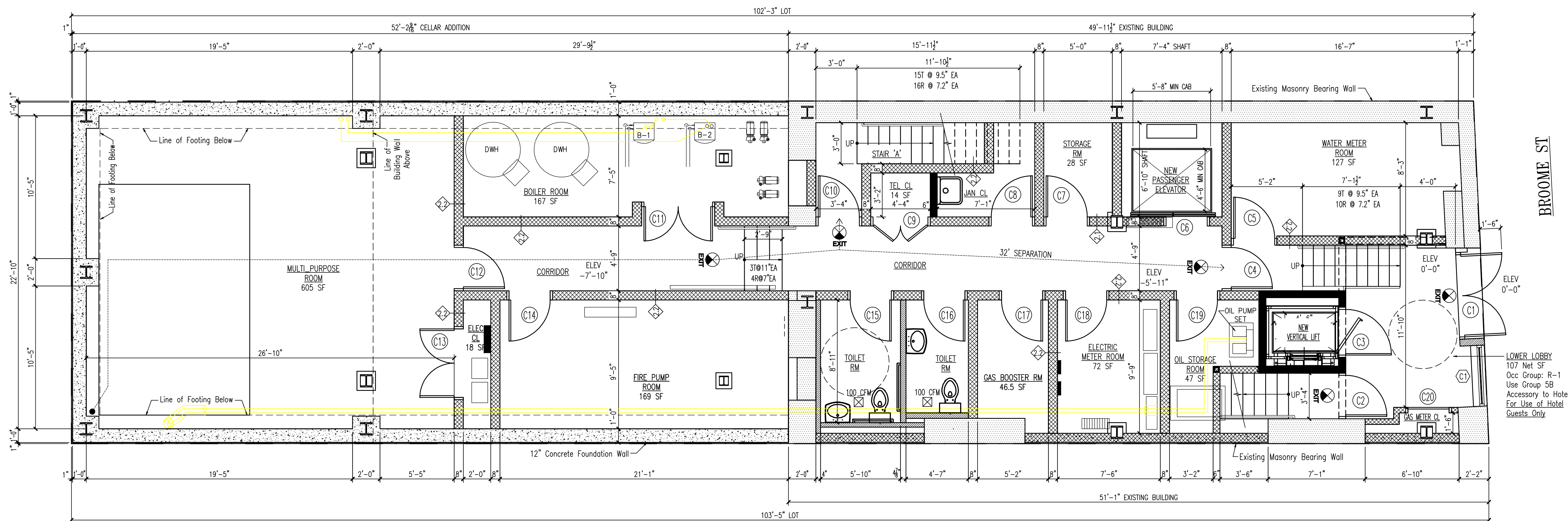
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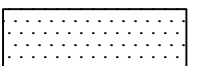



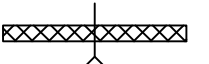



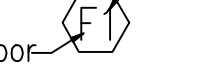



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CELLAR CONSTRUCTION PLAN

Drawing Number:

A-001.00

Legend:

-  Existing Brick/Masonry wall to remain
-  New Concrete Foundation Wall
-  New Concrete Block Wall
-  New Interior non-rated partition. See Partition Details.
-  New 1-hr rated wall/partition. See Partition Details.
-  New 2-hr rated wall/partition. See Partition Details.
-  Door
-  New Door—Refer to Door Schedule
-  Window
-  New Window—Refer to Window Schedule
-  NYC-Approved, UL-Listed Combination Smoke/Carbon Monoxide Detector per Local Law 7/04
-  NYC-Approved, internally-illuminated exit sign

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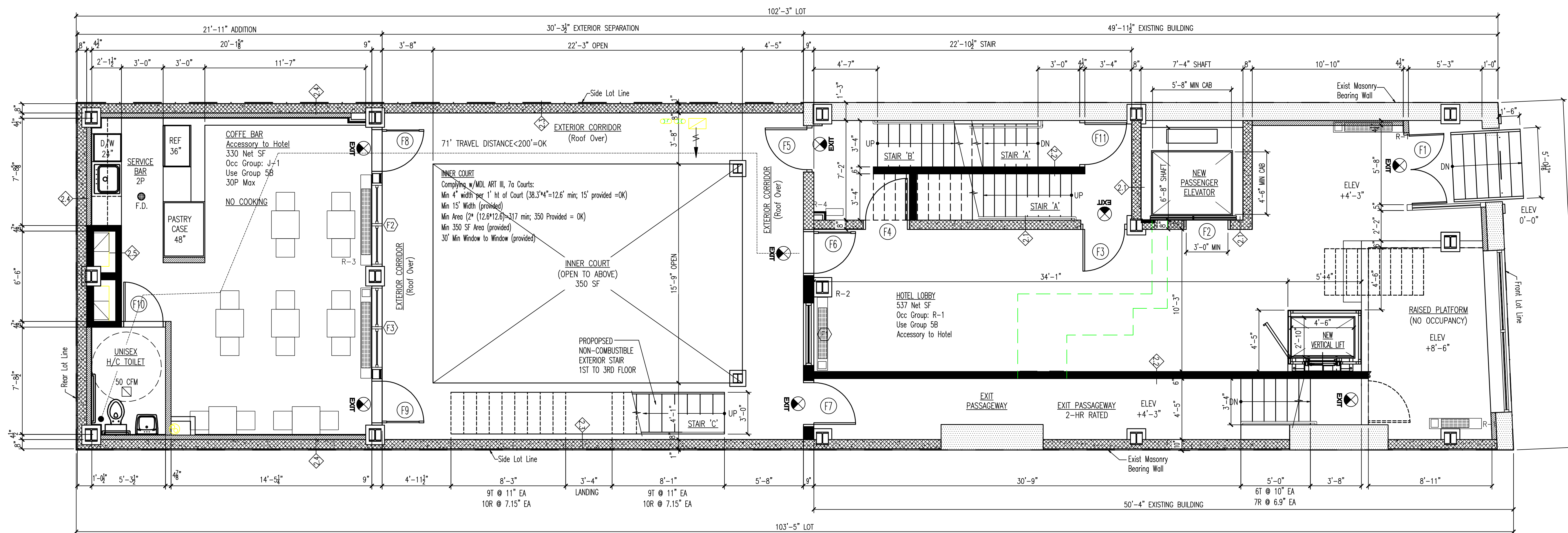
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1ST FL CONSTRUCTION PLAN

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1 First Floor Construction Plan
 SCALE: 1/4" = 1'-0"

Existing Floor Area: 1272 SF
 Proposed Addition: 548 SF
 Proposed Total Floor Area: 1820 SF
 Fully Sprinklered

- Legend:**
- Existing Brick/Masonry wall to remain
 - New Concrete Foundation Wall
 - New Concrete Block Wall
 - New Interior non-rated partition. See Partition Details.
 - New 1-hr rated wall/partition. See Partition Details.
 - New 2-hr rated wall/partition. See Partition Details.
 - Door
 - New Door—Refer to Door Schedule
 - Window
 - New Window—Refer to Window Schedule
 - NYC-Approved, UL-Listed Combination Smoke/Carbon Monoxide Detector per Local Law 7/04
 - NYC-Approved, internally-illuminated exit sign

Hotel Rm	Net Area SF	Req'd Light SF	Prov Light SF	Req'd Vent SF	Prov Vent SF
201	154	15.4	59	7.7	29.5
202	206	20.6	19	10.3	9.5
203	146	14.6	19	7.3	9.5
204	163	16.3	39	8.2	19.5
205	163	16.3	39	8.2	19.5

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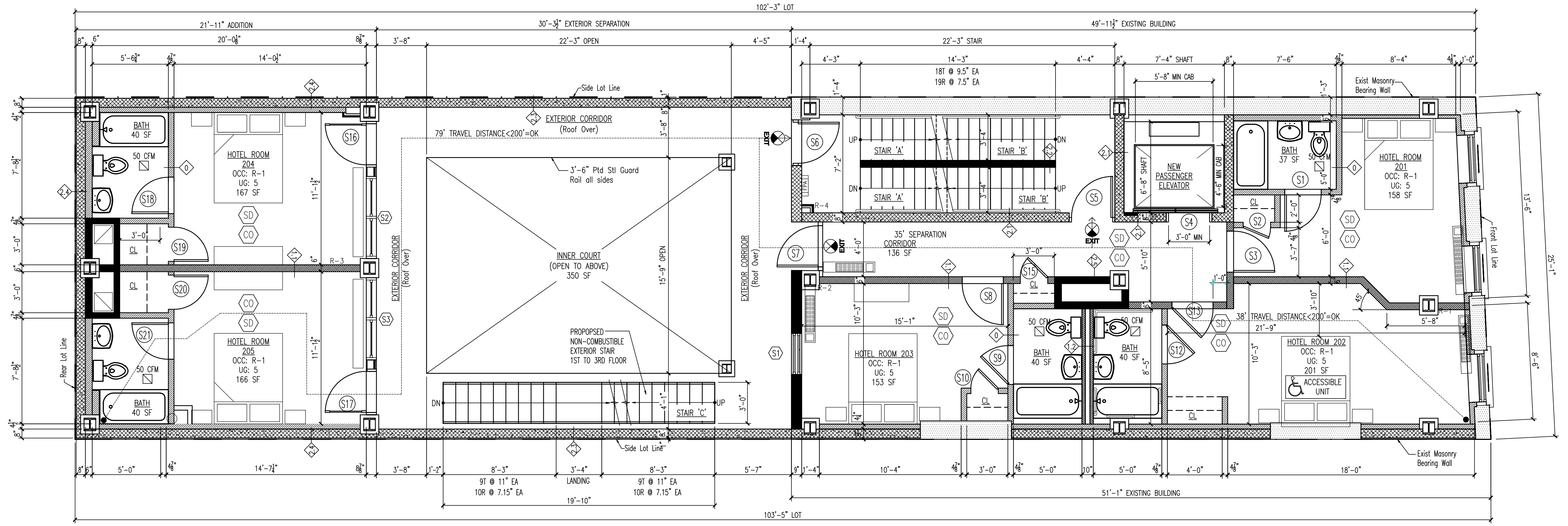
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Rev	Date	Description

Revisions

ACAD File Name:
 A-003.00 2nd FI Construction Plan.dwg

PROJECT TITLE:
HOTEL CONVERSION
 CELLAR, 1-5, ROOF
 431 BROOME STREET
 NEW YORK, NY 10013

Proj #: JA2009BROM1
 Drawn By: DS
 Checked By:
 Date: 1/15/2010
 Issued For:

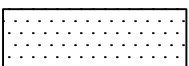


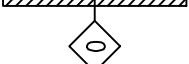
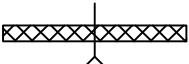



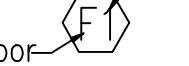



DRAWING TITLE:
2ND FL CONSTRUCTION PLAN

Drawing Number:
A-003.00

1 Second Floor Construction Plan
 SCALE: 1/4" = 1'-0"

Existing Floor Area: 1272 SF
 Proposed Addition: 548 SF
 Proposed Total Floor Area: 1820 SF
 Fully Sprinklered

Legend:

-  Existing Brick/Masonry wall to remain
-  New Concrete Foundation Wall
-  New Concrete Block Wall
-  New Interior non-rated partition. See Partition Details.
-  New 1-hr rated wall/partition. See Partition Details.
-  New 2-hr rated wall/partition. See Partition Details.
-  Door
-  New Door-Refer to Door Schedule
-  Window
-  New Window-Refer to Window Schedule
-  NYC-Approved, UL-Listed Combination Smoke/Carbon Monoxide Detector per Local Law 7/04
-  NYC-Approved, internally-illuminated exit sign

Natural Light & Ventilation Table					
Hotel Rm	Net Area SF	Req'd Light SF	Prov Light SF	Req'd Vent SF	Prov Vent SF
301	154	15.4	59	7.7	29.5
302	206	20.6	19	10.3	9.5
303	146	14.6	19	7.3	9.5
304	163	16.3	39	8.2	19.5
305	163	16.3	39	8.2	19.5

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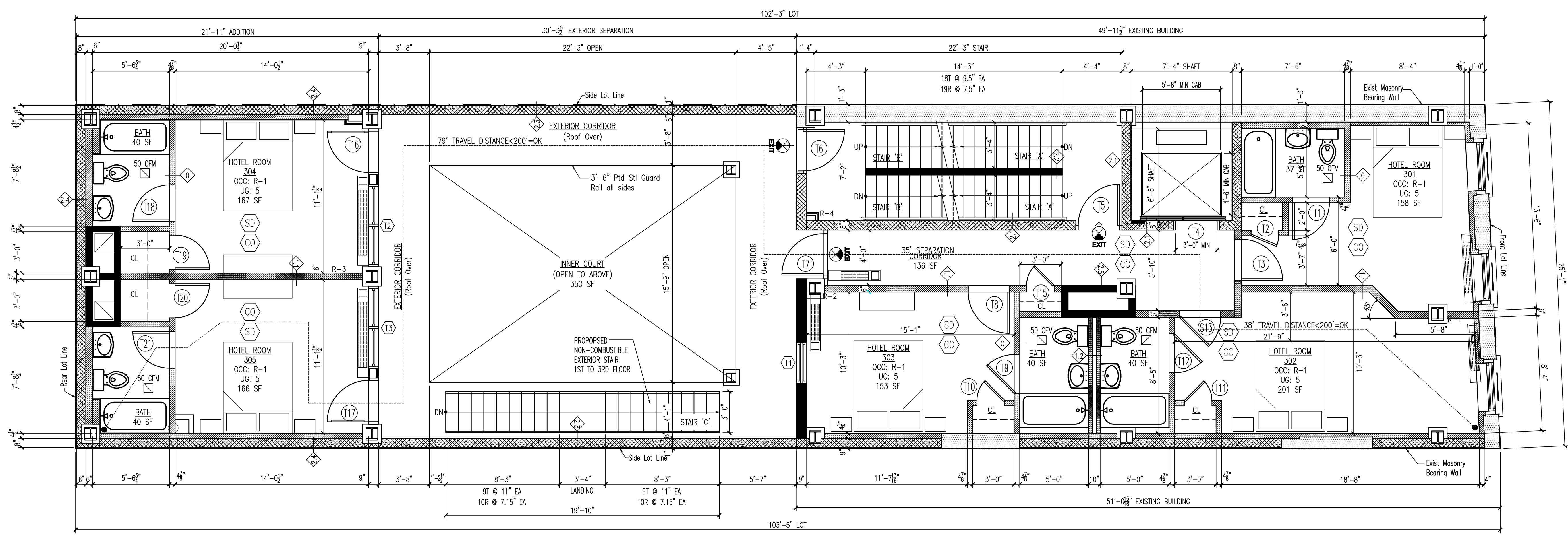
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Rev	Date	Description
Revisions		
ACAD File Name: A-004.00 3rd FI Construction Plan.dwg		
PROJECT TITLE: HOTEL CONVERSION		
CELLAR, 1-5, ROOF 431 BROOME STREET NEW YORK, NY 10013		
Proj #:	JA2009BROM1	
Drawn By:	DS	
Checked By:		
Date:	1/15/2010	
Issued For:		
DRAWING TITLE:		

3RD FL CONSTRUCTION PLAN

Drawing Number:

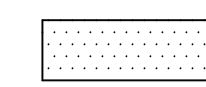


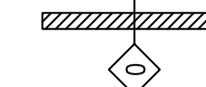
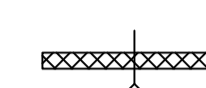
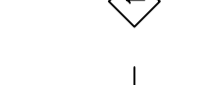

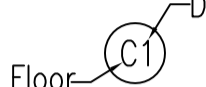
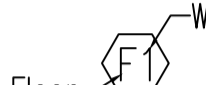
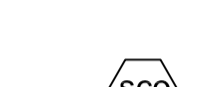
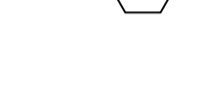

A-004.00



1 Third Floor Construction Plan
 SCALE: 1/4" = 1'-0"

Existing Floor Area: 1272 SF
 Proposed Addition: 548 SF
 Proposed Total Floor Area: 1820 SF
 Fully Sprinklered

Legend:

-  Existing Brick/Masonry wall to remain
-  New Concrete Foundation Wall
-  New Concrete Block Wall
-  New Interior non-rated partition. See Partition Details.
-  New 1-hr rated wall/partition. See Partition Details.
-  New 2-hr rated wall/partition. See Partition Details.
-  Door
-  New Door—Refer to Door Schedule
-  Window
-  New Window—Refer to Window Schedule
-  NYC-Approved, UL-Listed Combination Smoke/Carbon Monoxide Detector per Local Law 7/04
-  NYC-Approved, internally-illuminated exit sign

Natural Light & Ventilation Table					
4th Floor					
Hotel Rm	Net Area SF	Req'd Light SF	Prov Light SF	Req'd Vent SF	Prov Vent SF
401	154	15.4	59	7.7	29.5
402	206	20.6	19	10.3	9.5
403	146	14.6	19	7.3	9.5

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Rev	Date	Description

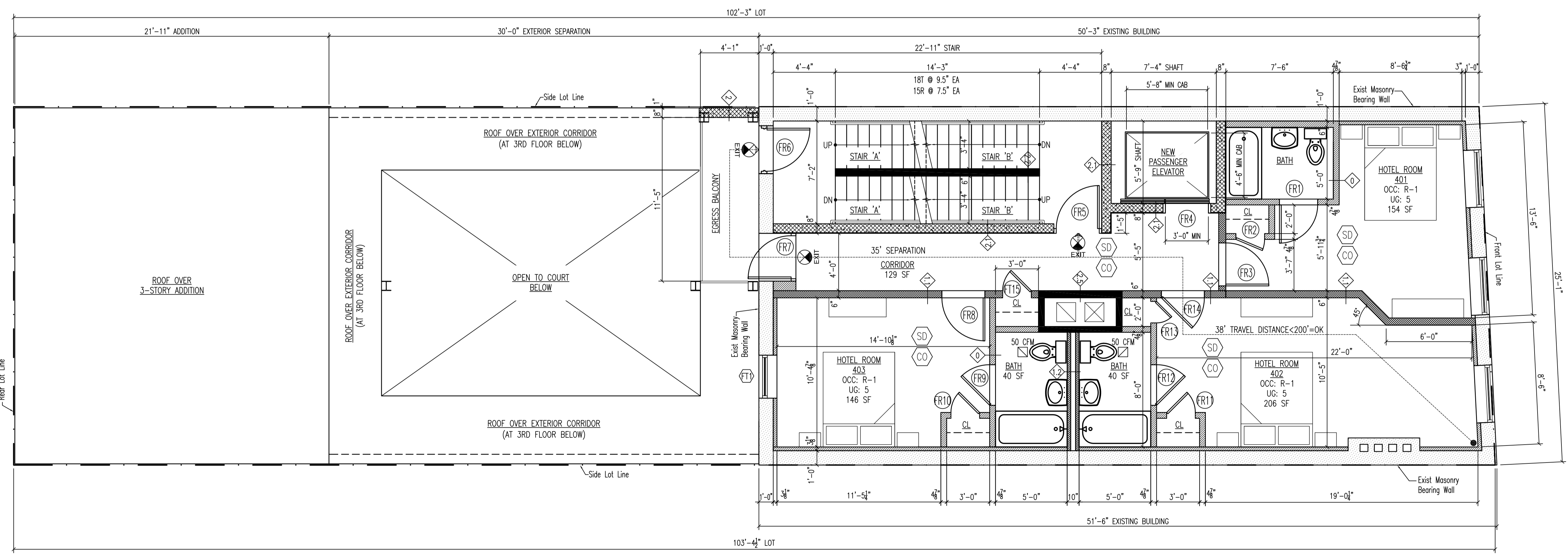
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 A-005.00 4th FI Construction Plan.dwg

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HOTEL CONVERSION
 CELLAR, 1-5, ROOF
 431 BROOME STREET
 NEW YORK, NY 10013

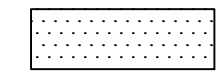


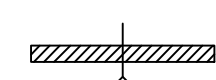

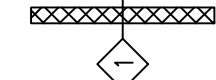



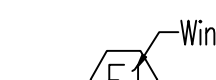
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 Drawn By: DS
 Checked By:
 Date: 1/15/2010
 Issed For:

DRAWING TITLE:
4TH FL CONSTRUCTION PLAN
 Drawing Number:

A-005.00



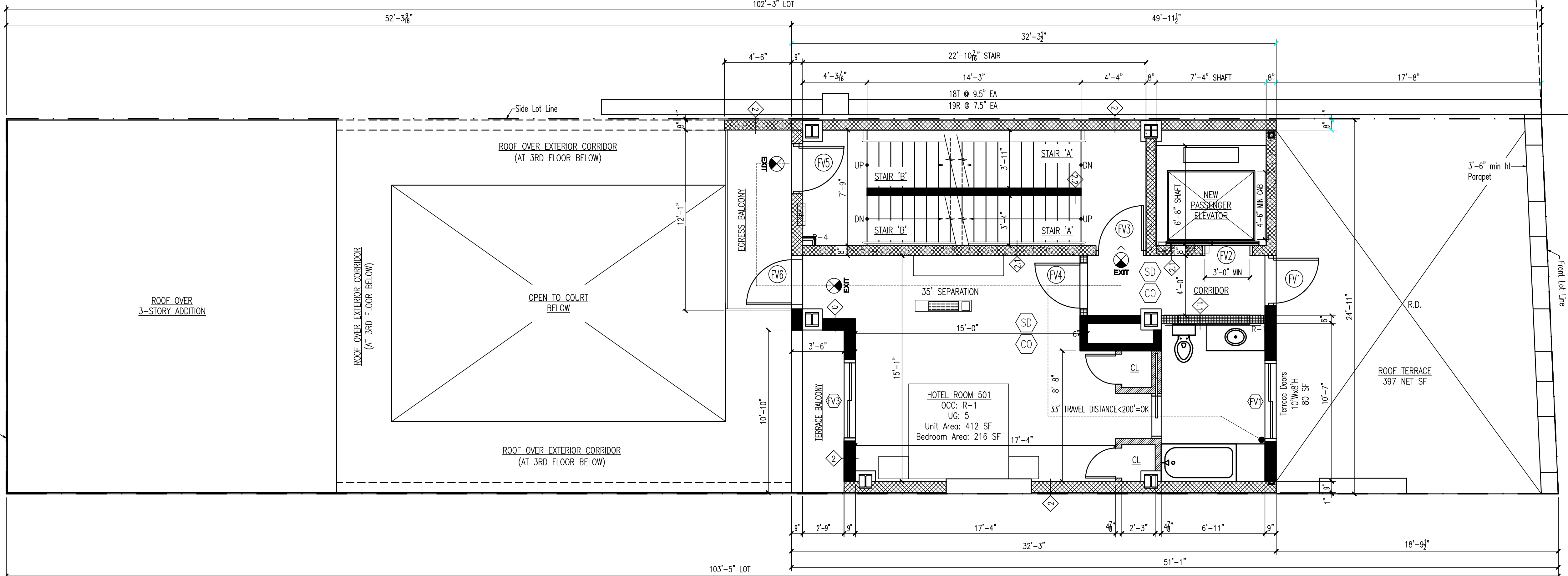
Legend:

-  Existing Brick/Masonry wall to remain
-  New Concrete Foundation Wall
-  New Concrete Block Wall
-  New Interior non-rated partition. See Partition Details.
-  New 1-hr rated wall/partition. See Partition Details.
-  New 2-hr rated wall/partition. See Partition Details.
-  New Door—Refer to Door Schedule
-  New Window—Refer to Window Schedule
-  NYC-Approved, UL-Listed Combination Smoke/Carbon Monoxide Detector per Local Law 7/04
-  NYC-Approved, internally-illuminated exit sign

Natural Light & Ventilation Table

5th Floor					
Hotel Rm	Net Area SF	Req'd Light SF	Prov Light SF	Req'd Vent SF	Prov Vent SF
501	216	21.6	55	10.8	27.5

Note: For 10'x8'h Glass Terrace Doors, only the portion 30" above the floor has been counted (10'x5.5")=55 SF



CLIENT

MECHANICAL ENGINEER:

STRUCTURAL ENGINEER:

CODE/ZONING CONSULTANT:

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SEAL

Rev	Date	Description
Revisions		
ACAD File Name: A-006.00 5th Fl Construction Plan.dwg		
PROJECT TITLE: HOTEL CONVERSION		
CELLAR, 1-S, ROOF		
431 BROOME STREET		
NEW YORK, NY 10013		
Proj #:	JA2009BROM1	
Drawn By:	DS	
Checked By:		
Date:	1/15/2010	
Issed For		
DRAWING TITLE:		
5TH FL CONSTRUCTION PLAN		
Drawing Number:		
A-006.00		

Revisions

ACAD File Name:

A-006.00 5th Fl Construction Plan.dwg

PROJECT TITLE:

HOTEL CONVERSION

CELLAR, 1-S, ROOF

431 BROOME STREET

NEW YORK, NY 10013

Proj #: JA2009BROM1

Drawn By: DS

Checked By:

Date: 1/15/2010

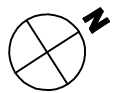
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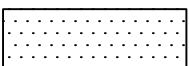


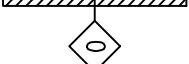
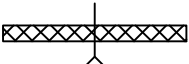

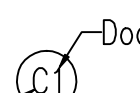
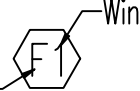


5TH FL CONSTRUCTION PLAN

Drawing Number:

A-006.00



Legend:

-  Existing Brick/Masonry wall to remain
-  New Concrete Foundation Wall
-  New Concrete Block Wall
-  New Interior non-rated partition. See Partition Details.
-  New 1-hr rated wall/partition. See Partition Details.
-  New 2-hr rated wall/partition. See Partition Details.
-  Door
New Door-Refer to Door Schedule
-  Window
New Window-Refer to Window Schedule
-  NYC-Approved, UL-Listed Combination Smoke/Carbon Monoxide Detector per Local Law 7/04
-  NYC-Approved, internally-illuminated exit sign

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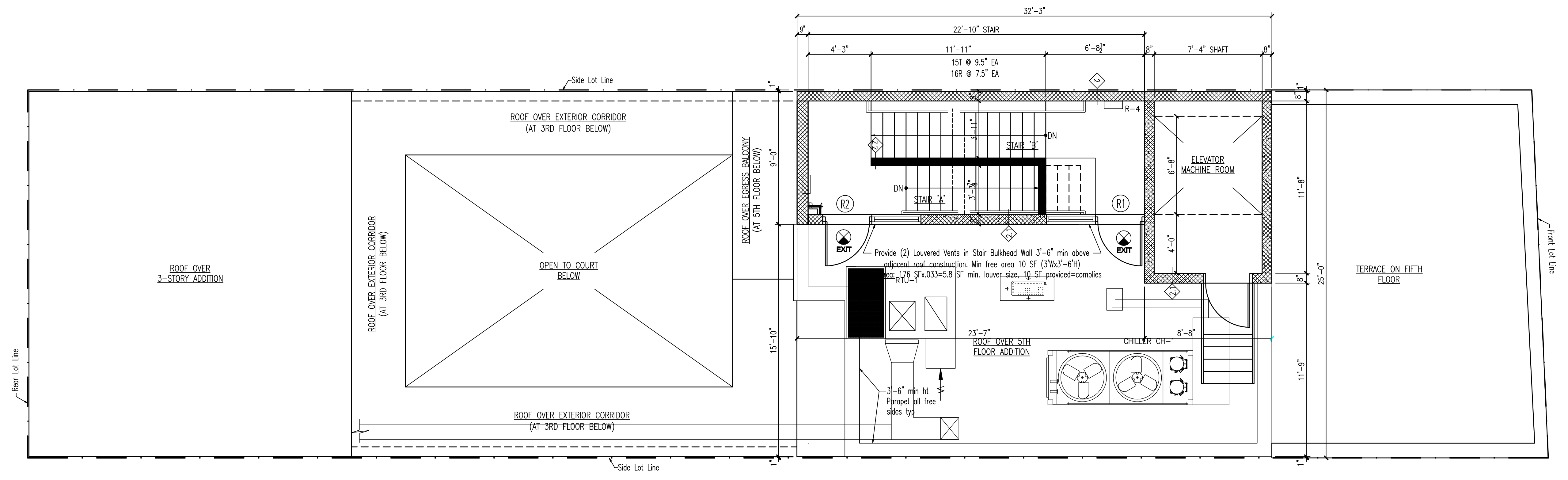
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Rev	Date	Description

Revisions
 ACAD File Name:
 A-007.00 Roof BH Construction Plan.dwg
PROJECT TITLE:
HOTEL CONVERSION
 CELLAR, 1-5, ROOF
 431 BROOME STREET
 NEW YORK, NY 10013
 Proj #: JA2009BROM1
 Drawn By: DS
 Checked By:
 Date: 1/15/2010
 Issued For:

DRAWING TITLE:
ROOF BH CONSTRUCTION PLAN
 Drawing Number:

A-007.00



1 Roof Bulkhead Construction Plan
 SCALE: 1/4" = 1'-0"

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Rev	Date	Description

Revisions

ACAD File Name:

A-008.00 Roof Construction Plan.dwg

PROJECT TITLE:

HOTEL CONVERSION

CELLAR, 1-5, ROOF

431 BROOME STREET

NEW YORK, NY 10013

Proj #: JA2009BROM1

Drawn By: DS

Checked By:

Date: 1/15/2010

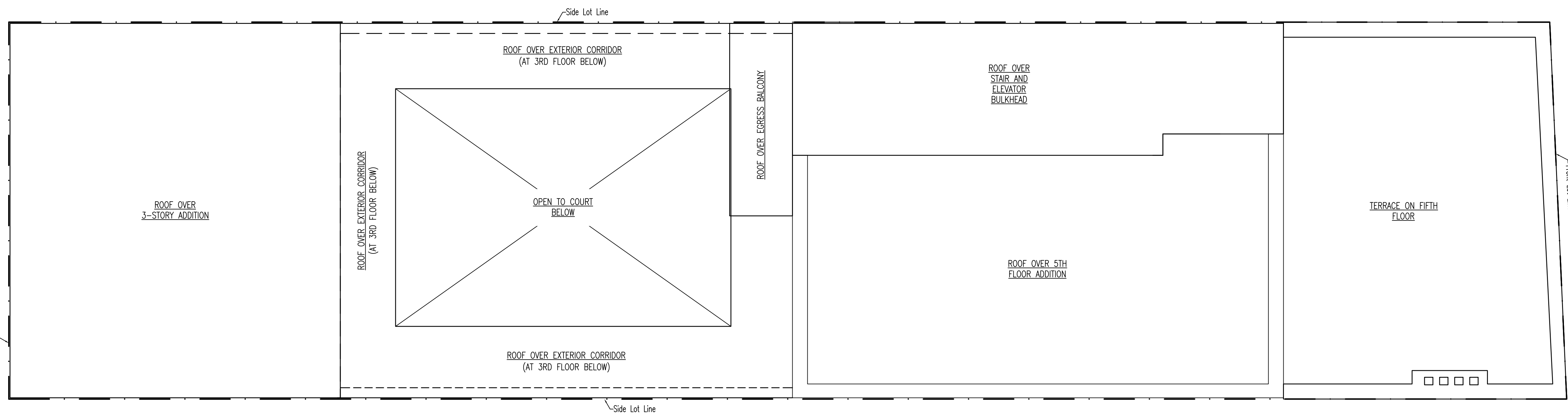
Issued For:

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ROOF CONSTRUCTION PLAN

Drawing Number:

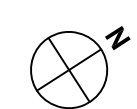
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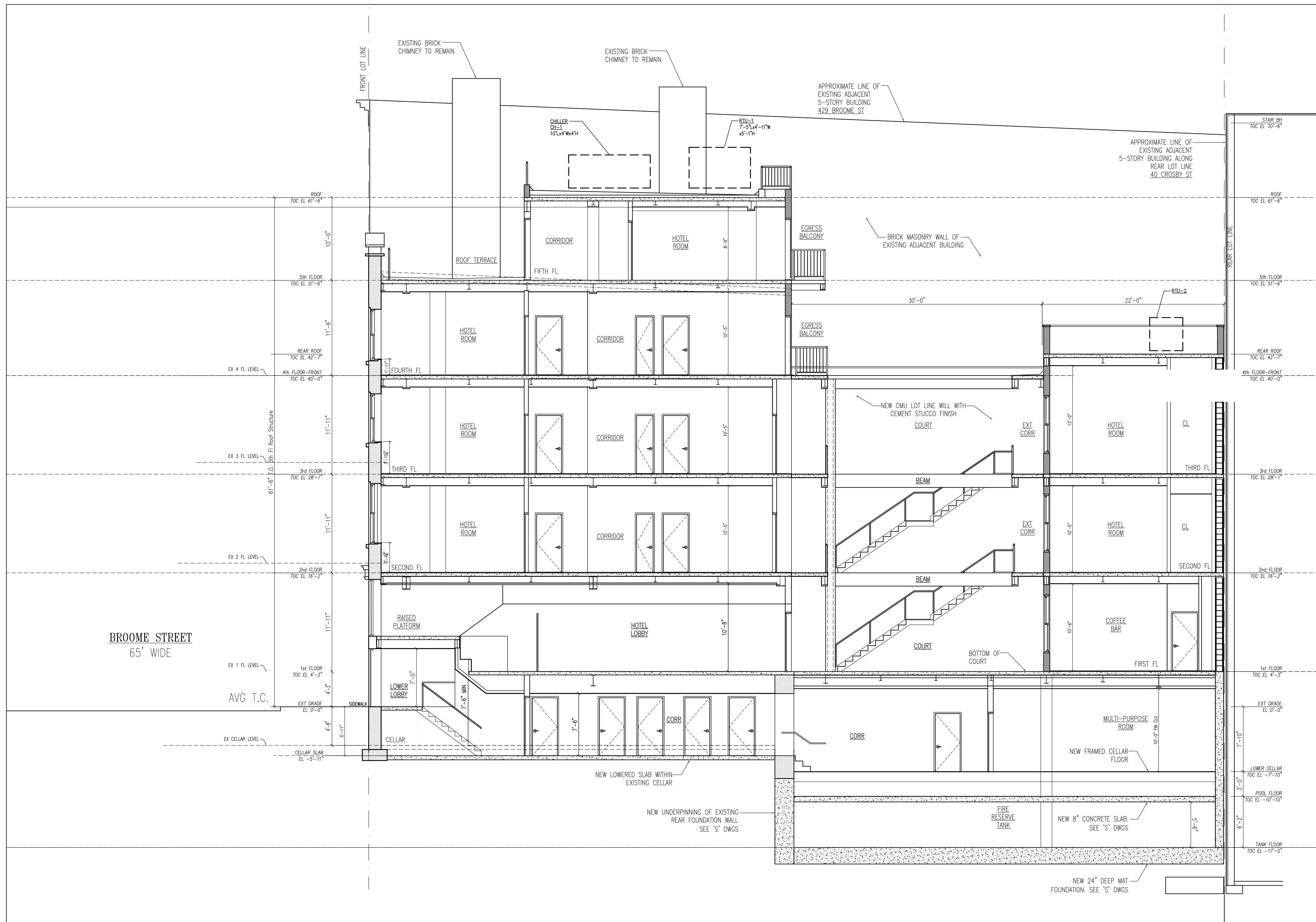


1

Roof Construction Plan

SCALE: 1/4" = 1'-0"





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Rev	Date	Description
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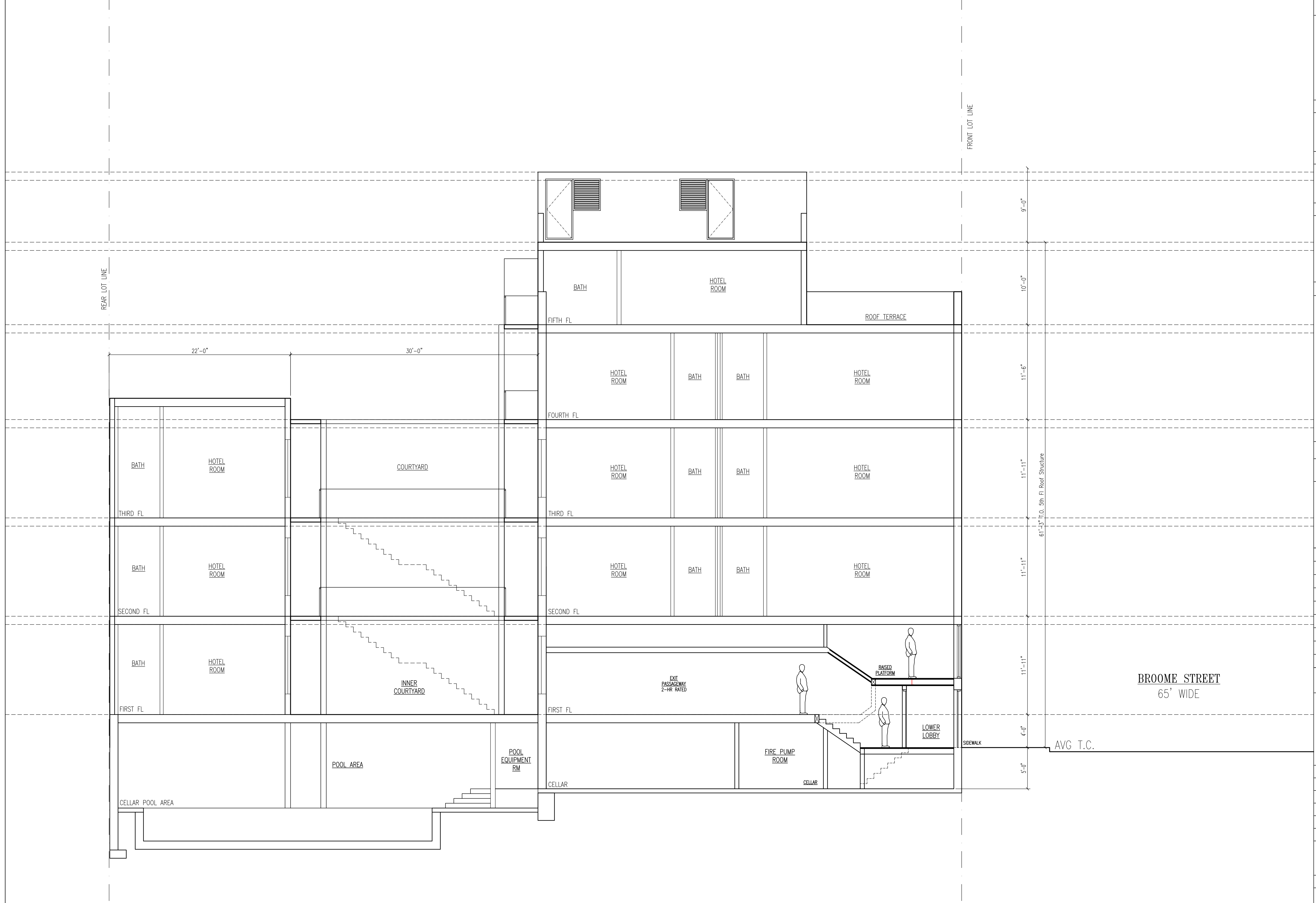
Rev	Date	Description

DRAWING TITLE:

LONGITUDINAL SECTION
 Drawing Number:

A-009.00

1 Longitudinal Section-Right
 SCALE: 3/16" = 1'-0"



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SEAL

Rev	Date	Description

Revisions

ACAD File Name:
A-010.00 Longitudinal Section.dwg

PROJECT TITLE:
HOTEL CONVERSION

CELLAR, 1-5, ROOF
 431 BROOME STREET
 NEW YORK, NY 10013

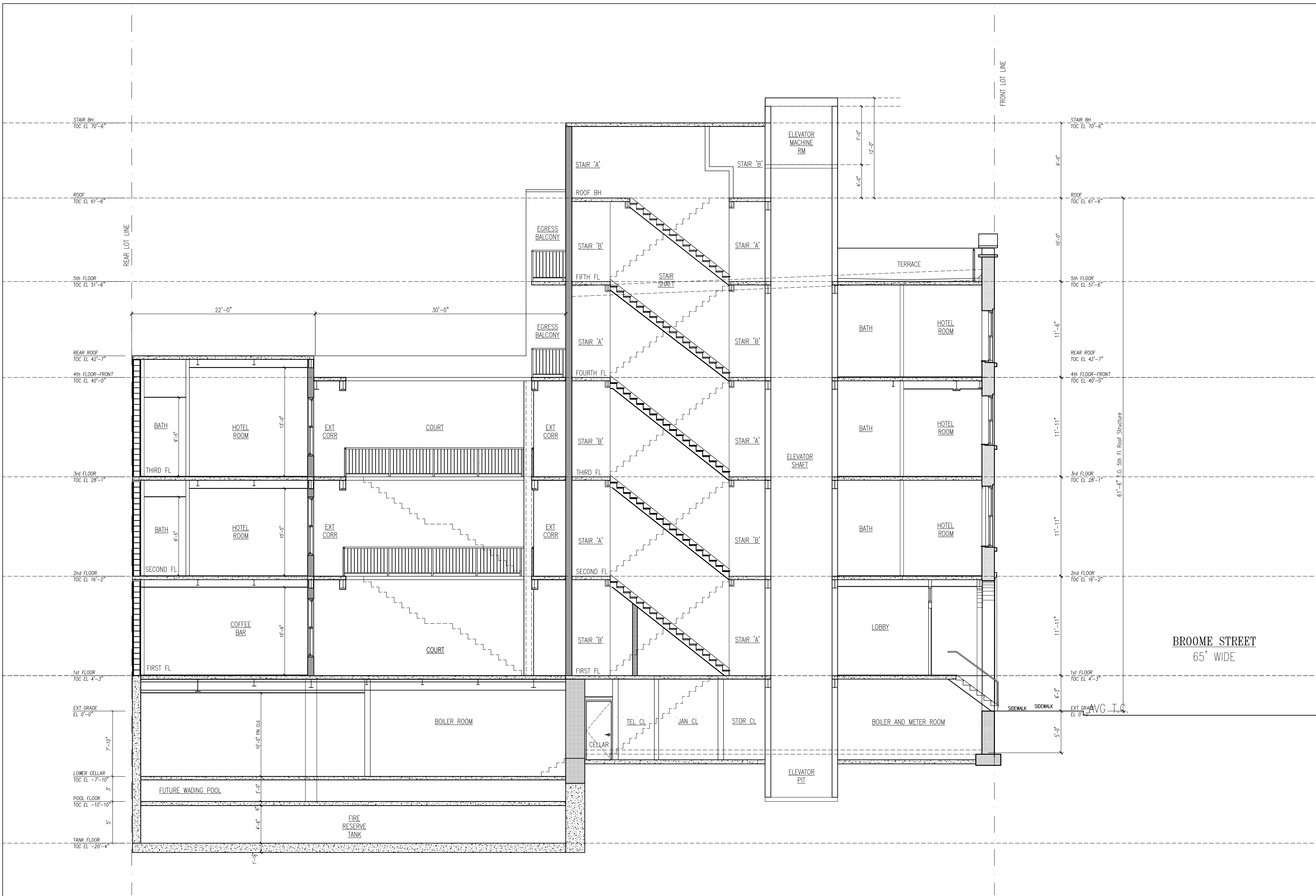
Proj #:	JA2009BROM1
Drawn By:	DS
Checked By:	
Date:	1/23/2010
Issed For:	

DRAWING TITLE:
LONGITUDINAL SECTION

Drawing Number:

A-010.00

1 Longitudinal Section-Left
 SCALE: 3/16" = 1'-0"



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SEAL

Rev	Date	Description

Revisions

ACAD File Name:
 A-011.00 Longitudinal Section.dwg

PROJECT TITLE:

HOTEL CONVERSION
 CELLAR, 1-5, ROOF
 431 BROOME STREET
 NEW YORK, NY 10013

Proj #:	JA2009BROM1
Drawn By:	DS
Checked By:	
Date:	1/23/2010
Issed For:	

DRAWING TITLE:

LONGITUDINAL SECTION

Drawing Number:

A-011.00

1 Longitudinal Section-Through Scissor Stair & Elevator
 SCALE: 3/16" = 1'-0"



1 Transverse Section 1(Front Building)
SCALE: 3/16" = 1'-0"

2 Transverse Section 2 (Front Building)
SCALE: 3/16" = 1'-0"

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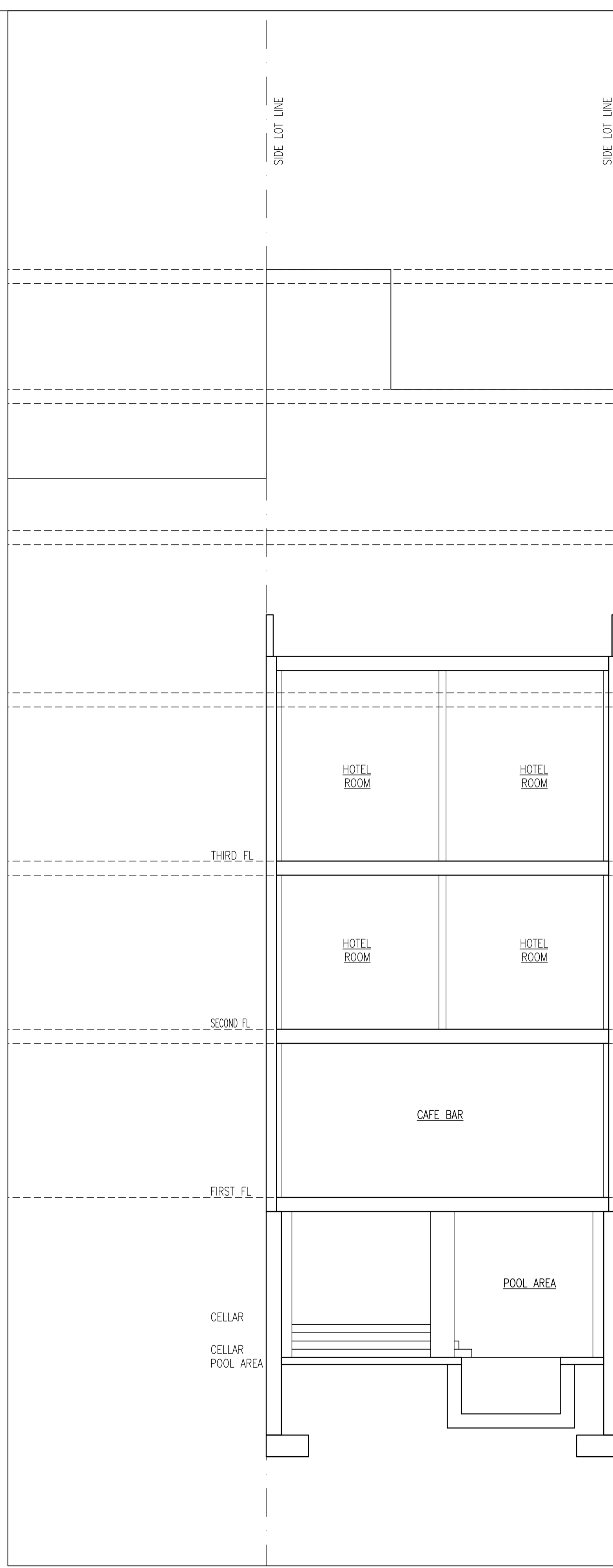
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 A-012.00 Transverse Building Sections 1.dwg

PROJECT TITLE:
HOTEL CONVERSION
 CELLAR, 1-5, ROOF
 431 BROOME STREET
 NEW YORK, NY 10013

Proj #:	JA2009BROM1
Drawn By:	DS
Checked By	
Date	1/23/2010
Issed For	

DRAWING TITLE:
TRANSVERSE BUILDING SECTIONS 1
 Drawing Number:

A-012.00



1 Transverse Section 1 (Rear Building)
SCALE: 3/16" = 1'-0"



2 Transverse Section 2 (Through Courtyard)
SCALE: 3/16" = 1'-0"

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SEAL

Rev	Date	Description

Revisions

ACAD File Name:
A-013.00 Transverse Building Sections 2.dwg

PROJECT TITLE:
HOTEL CONVERSION
 CELLAR, 1-5, ROOF
 431 BROOME STREET
 NEW YORK, NY 10013

Proj #:	JA2009BROM1
Drawn By:	DS
Checked By:	
Date:	1/23/2010
Issed For:	

DRAWING TITLE:
TRANSVERSE BUILDING SECTIONS 2

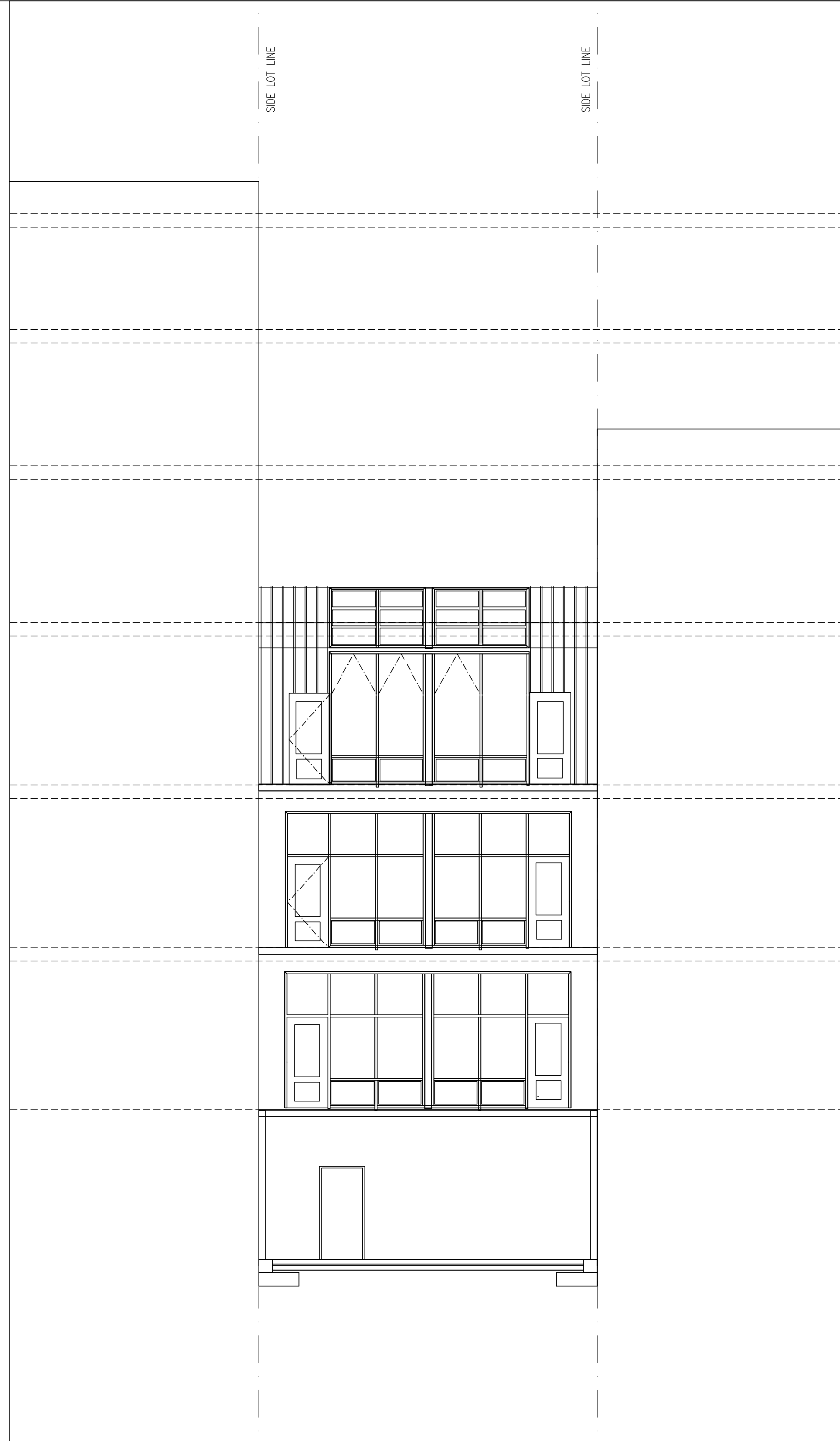
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A-013.00

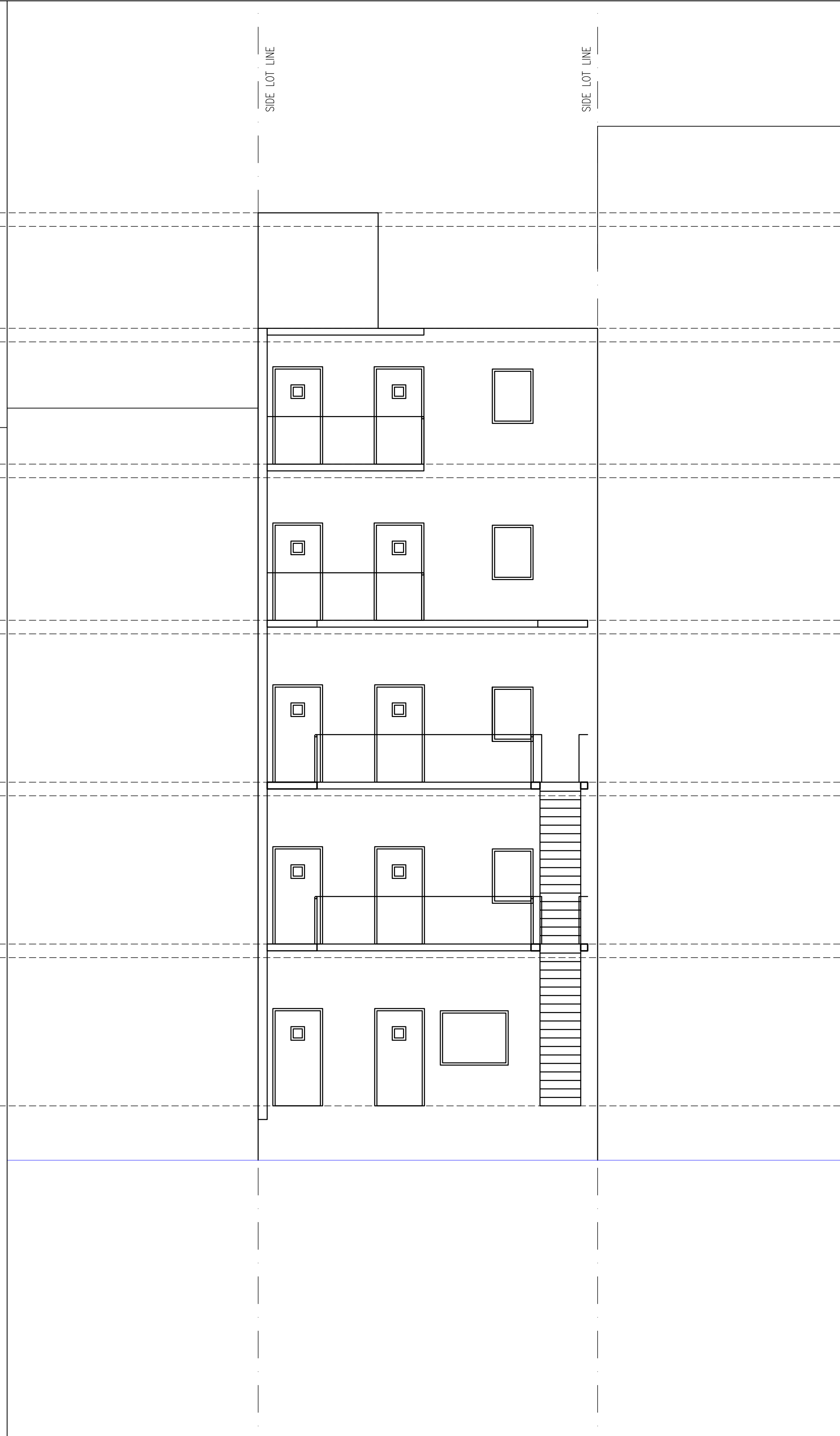


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SEAL		
Rev	Date	Description
Revisions		
ACAD File Name:		
A-014.00 Front Elevation @ Broome St.dwg		
PROJECT TITLE:		
HOTEL CONVERSION		
CELLAR, 1-5, ROOF		
431 BROOME STREET		
NEW YORK, NY 10013		
Proj #:	JA2009BROM1	
Drawn By:	DS	
Checked By:		
Date	1/23/2010	
Issued For		
DRAWING TITLE:		
FRONT ELEVATION @ BROOME ST		
Drawing Number:		
A-014.00		

1 Front Elevation @ Broome Street
SCALE: 3/16" = 1'-0"



1 Front Elevation (Rear Building)
SCALE: 3/16" = 1'-0"



2 Rear Elevation (Front Building)
SCALE: 3/16" = 1'-0"

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SEAL

Rev	Date	Description

Revisions
 ACAD File Name:
 A-015.00 Courtyard Elevations.dwg

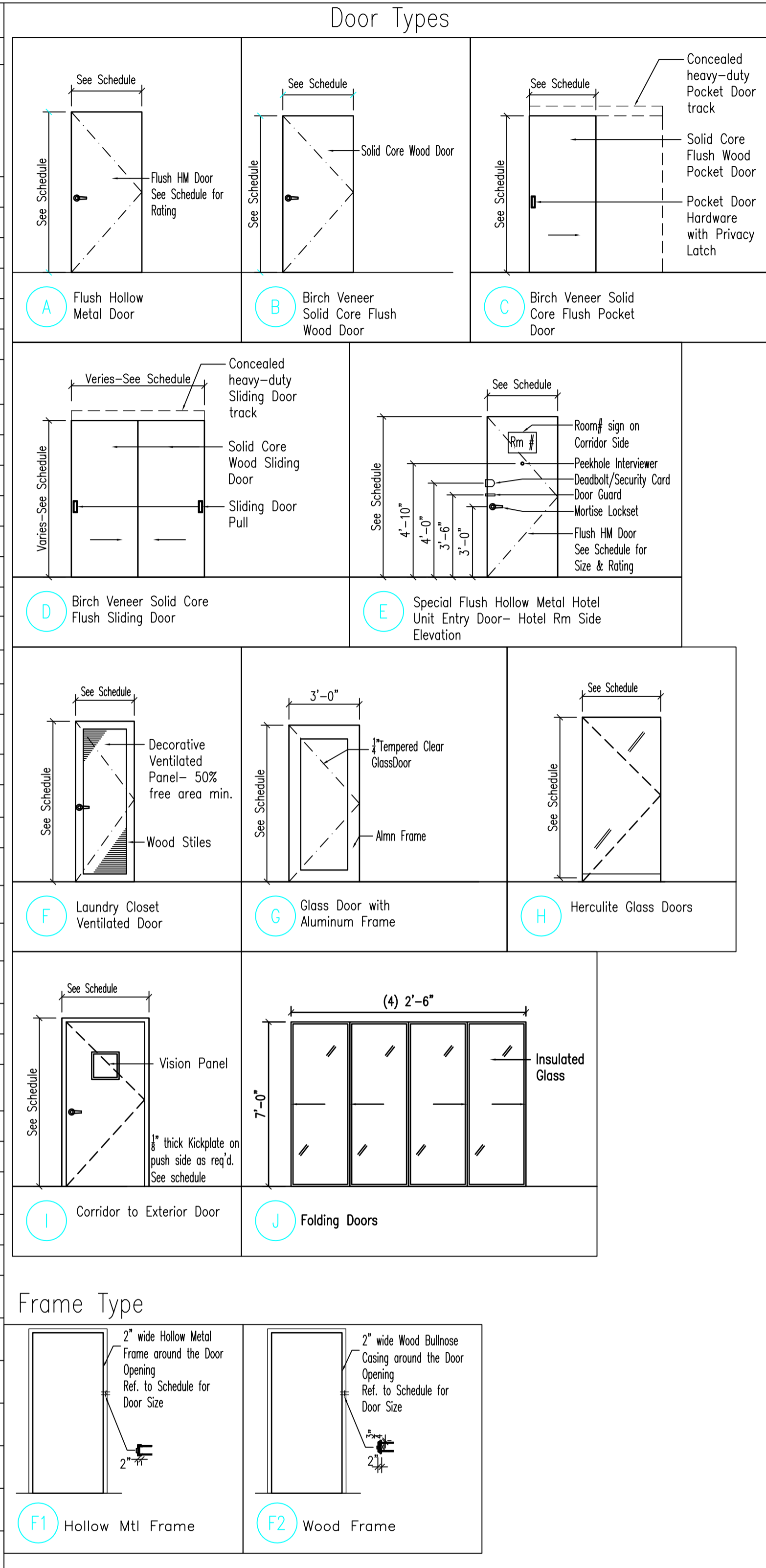
PROJECT TITLE:
HOTEL CONVERSION
 CELLAR, 1-5, ROOF
 431 BROOME STREET
 NEW YORK, NY 10013

Proj #:	JA2009BROM1
Drawn By:	DS
Checked By:	
Date:	1/23/2010
Issued For:	

DRAWING TITLE:
COURTYARD ELEVATIONS

Drawing Number:
A-015.00

Door Schedule															
Floor	DOOR									FRAME				NOTES	
	Door No	Type	Rating	Location	Width	Height	Thick	Mat	Hardware	Type	Material	Head	Jamb		Sill
Cellar	Ⓒ1	G	N/A-SC	Lower Lobby	(2) 3'-0"	7'-0"	1 3/4"	Alum/GL	Dbf Swing	---	---	---	---	---	
	Ⓒ2	A	1 1/2 Hr FPSC	Exit Passageway	3'-0"	7'-0"	1 3/4"	HM	Swing Door	1	HM		J1	S2	
	Ⓒ3	A	1 1/2 Hr FPSC	Lower Lobby (Vertical Lift)	3'-0"	7'-0"	1 3/4"	HM	Swing Door	1	HM		J1	S2	
	Ⓒ4	A	1 1/2 Hr FPSC	Lower Lobby	3'-0"	7'-0"	1 3/4"	HM	Swing Door	1	HM		J1	S2	
	Ⓒ5	A	1 1/2 Hr FPSC	Boiler/Meter Room	3'-0"	7'-0"	1 3/4"	HM	Swing Door	1	HM		J1	S2	Provide 'Boiler Room' Sign on Door
	Ⓒ6		1 1/2 Hr FPSC	Elevator	3'-0"	7'-0"	1 3/4"	HM	Elevator Door	1	HM		J1	S2	
	Ⓒ7	A	1 1/2 Hr FPSC	Elevator Control Rm	3'-0"	7'-0"	1 3/4"	HM	Swing Door	1	HM		J1	S2	Provide 'Elevator Control Room' Sign on Door
	Ⓒ8	A	1 1/2 Hr FPSC	Laundry Rm	3'-0"	7'-0"	1 3/4"	HM	Swing Door	1	HM		J1	S2	Provide 'Laundry Room' Sign on Door
	Ⓒ9	A	1 1/2 Hr FPSC	Stair A	3'-0"	7'-0"	1 3/4"	HM	Swing Door	1	HM		J1	S2	
	Ⓒ10	G	N/A	Pool Area Entry	(2) 3'-0"	7'-0"	1 3/4"	Alum/Gl	Dbf Swing	1	HM		J1	S2	
	Ⓒ11	A	1 1/2 Hr FPSC	Pool Equipment Rm	3'-0"	7'-0"	1 3/4"	HM	Swing Door	1	HM		J1	S2	
	Ⓒ12	A	1 1/2 Hr FPSC	Women's Toilet Rm	3'-0"	7'-0"	1 3/4"	HM	Swing Door	1	HM		J1	S2	
	Ⓒ13	A	1 1/2 Hr FPSC	Men's Toilet Rm	3'-0"	7'-0"	1 3/4"	HM	Swing Door	1	HM		J1	S2	
1st Fl	Ⓔ1	H	NR-SC	Entrance / Lobby	(2) 3'-0"	8'-0"		Gl	Dbf Swing	1	Alum		J1	S2	
	Ⓔ2		1 1/2 Hr FPSC	Elevator / Lobby	3'-0"	7'-0"	1 3/4"	HM	Elevator Door	1	HM		J1	S2	
	Ⓔ3	A	1 1/2 Hr FPSC	Stair A	3'-0"	7'-0"	1 3/4"	HM	Swing Door	1	HM		J1	S2	
	Ⓔ4	A	1 1/2 Hr FPSC	Lobby to Stair B	3'-0"	7'-0"	1 3/4"	HM	Swing Door	1	HM		J1	S2	
	Ⓔ5	I	1 1/2 Hr FPSC	Stair B	3'-0"	7'-0"	1 3/4"	HM	Swing Door	1	HM		J1	S2	Vision Panel
	Ⓔ6	G	NR-SC	Lobby to Courtyard	3'-0"	7'-0"	1 3/4"	Alum/Gl	Swing Door	1	Alum		J2	S1	
	Ⓔ7	I	1 1/2 Hr FPSC	Exit Passageway	3'-0"	7'-0"	1 3/4"	HM	Swing Door	1	HM		J2	S1	Vision Panel
	Ⓔ8	G	NR	Entry to Coffee Bar	3'-0"	7'-0"	1 3/4"	Alum/Gl	Swing Door	1	Alum		J1	S2	
	Ⓔ9	G	NR	Entry to Coffee Bar	3'-0"	7'-0"	1 3/4"	Alum/Gl	Swing Door	1	Alum		J1	S2	
	Ⓔ10	A	NR	Toilet (Coffee Bar)	3'-0"	7'-0"	1 3/4"	HM	Swing Door	1	HM		J1	S2	
2nd-4th Fl Front BLDG	Ⓔ11	I	1 1/2 Hr FPSC	Stair A to Cellar	3'-0"	7'-0"	1 3/4"	HM	Swing Door	1	HM		J1	S2	
	Ⓔ12	B	NR	Hotel Rm 1 Bath	2'-10"	7'-0"	1 3/8"	SCWD	Swing Door	1	HM		J1	S2	
	2	B	NR	Hotel Rm 1 CL	2'-0"	7'-0"	1 3/8"	SCWD	Swing Door	1	HM		J1	S2	
	3	A	1 1/2 Hr FPSC	Hotel Rm 1 Entry	3'-0"	7'-0"	1 3/4"	HM	Swing Door	1	HM		J1	S2	
	4		1 1/2 Hr FPSC	Corridor Elevator	3'-0"	7'-0"	1 3/4"	HM	Elevator Door	1	HM		J1	S2	
	5	A	1 1/2 Hr FPSC	Corridor to Stair B	3'-0"	7'-0"	1 3/4"	HM	Swing Door	1	HM		J1	S2	
	6	I	1 1/2 Hr FPSC	Ext. Corridor to Stair A	3'-0"	7'-0"	1 3/4"	HM	Swing Door	1	HM		J1	S2	Vision Panel
	7	I	1 1/2 Hr FPSC	Corridor	3'-0"	7'-0"	1 3/4"	HM	Swing Door	1	HM		J1	S2	Vision Panel
	8	A	1 1/2 Hr FPSC	Hotel Rm3 Entry	3'-0"	7'-0"	1 3/4"	HM	Swing Door	1	HM		J1	S2	
	9	B	NR	Hotel Rm3 Bath	2'-10"	7'-0"	1 3/8"	SCWD	Swing Door	1	HM		J1	S2	
	10	B	NR	Hotel Rm3 CL	2'-0"	7'-0"	1 3/8"	SCWD	Swing Door	1	HM		J1	S2	
	11	B	NR	Hotel Rm2 CL	2'-0"	7'-0"	1 3/8"	SCWD	Swing Door	1	HM		J1	S2	
	12	B	NR	Hotel Rm2 Bath	2'-10"	7'-0"	1 3/8"	SCWD	Swing Door	1	HM		J1	S2	
	13	B	NR	Hotel Rm2 CL	1'-6"	7'-0"	1 3/8"	SCWD	Swing Door	1	HM		J1	S2	
	14	A	1 1/2 Hr FPSC	Hotel Rm2 Entry	3'-0"	7'-0"	1 3/4"	HM	Swing Door	1	HM		J1	S2	
15	A	1 1/2 Hr FPSC	Corridor CL	2'-0"	7'-0"	1 3/4"	HM	Swing Door	1	HM		J1	S2		
2nd-3rd Fl Rear BLDG	16	G	NR	Hotel Rm4 Entry	3'-0"	7'-0"	1 3/4"	Alum/Gl	Swing Door	1	HM		J1	S2	
	17	G	NR	Hotel Rm5 Entry	3'-0"	7'-0"	1 3/4"	Alum/Gl	Swing Door	1	HM		J1	S2	
	18	B	NR	Hotel Rm4 Bath	2'-10"	7'-0"	1 3/8"	SCWD	Swing Door	1	HM		J1	S2	
	19	B	NR	Hotel Rm4 CL	2'-6"	7'-0"	1 3/8"	SCWD	Swing Door	1	HM		J1	S2	
	20	B	NR	Hotel Rm5 CL	2'-6"	7'-0"	1 3/8"	SCWD	Swing Door	1	HM		J1	S2	
	21	B	NR	Hotel Rm5 Bath	2'-10"	7'-0"	1 3/8"	SCWD	Swing Door	1	HM		J1	S2	
5th Fl	Ⓔ17	I	1 1/2 Hr FPSC	Elev Hall to Terrace	3'-0"	7'-0"	1 3/4"	Alum/Gl	Swing Door	1	HM		J1	S2	Vision Panel
	Ⓔ18		1 1/2 Hr FPSC	Elevator Door	3'-0"	7'-0"	1 3/4"	HM	Swing Door	1	HM		J1	S2	
	Ⓔ19	A	1 1/2 Hr FPSC	Hotel Rm to Stair A	3'-0"	7'-0"	1 3/4"	HM	Swing Door	1	HM		J1	S2	
	Ⓔ20	A	1 1/2 Hr FPSC	Elevator Hall to Hotel Rm	3'-0"	7'-0"	1 3/4"	HM	Swing Door	1	HM		J1	S2	
	Ⓔ21	I	1 1/2 Hr FPSC	Balcony to Stair B	3'-0"	7'-0"	1 3/4"	HM	Swing Door	1	HM		J1	S2	Vision Panel
	Ⓔ22	I	1 1/2 Hr FPSC	Hotel Rm to Balcony	3'-0"	7'-0"	1 3/4"	Alum/Gl	Swing Door	1	HM		J1	S2	Vision Panel
	Ⓔ23	B	NR	Hotel Rm Bath	2'-6"	7'-0"	1 3/8"	SCWD	Swing Door	1	HM		J1	S2	
	Ⓔ24	B	NR	Hotel Rm Closet	(2) 2'-0"	7'-0"	1 3/8"	SCWD	Swing Door	1	HM		J1	S2	Mirror Doors
	Ⓔ25	B	NR	Hotel Rm Closet	(2) 2'-0"	7'-0"	1 3/8"	SCWD	Swing Door	1	HM		J1	S2	Mirror Doors
	Ⓔ26	J	NR	Terrace Doors	(4) 2'-6"	7'-0"	1 3/4"	Alum/Gl	Folding Doors	1	HM		J1	S2	Insulated Glass



Legend

FPSC	Fire Protected Self-Closing
HM	Hollow Metal
NR	Not Rated
SCWD	Solid-Core Wood Door

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NYS RA Lic # 013322

SEAL

Rev	Date	Description

Revisions

ACAD File Name: A-016.00 Door Schedule.dwg

PROJECT TITLE:
HOTEL CONVERSION

CELLAR, 1-5, ROOF
 431 BROOME STREET
 NEW YORK, NY 10013

Proj #: JA2009BROM1

Drawn By: DS

Checked By:

Date: 1/21/2010

Issed For:

DRAWING TITLE:
DOOR SCHEDULE

Drawing Number:
A-016.00

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Department of Buildings Approvals:

