

GENERAL NOTES

- SCOPE OF WORK: RENOVATION OF EXISTING CLASS "A" RETAIL AS PER PLANS FILED HEREWITH. NO CHANGE IN USE, EGRESS OR OCCUPANCY IS PROPOSED UNDER THIS APPLICATION. CHANGE IN PLUMBING AND MECHANICAL WORK AS PER PLANS.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NEW YORK CITY BUILDING CODE. FOR A CLASS 2 BUILDING, ALL WORK SHALL CONFORM TO FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
- BEFORE COMMENCING WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING NEW YORK CITY AGENCIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD PRIOR TO COMMENCING WORK, AND SHALL REPORT ANY DISCREPANCIES BETWEEN DRAWINGS AND FIELD CONDITIONS TO THE ARCHITECT.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES AND BUILDING MANAGEMENT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC.).
- PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS. THE ELECTRICAL WORK MUST BE FILED WITH THE BUREAU OF ELECTRICAL CONTROL AND A CERTIFICATE OF ELECTRICAL INSPECTION MUST BE FILED WITH THE BUILDING MANAGEMENT AT COMPLETION OF THE WORK.
- THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING, REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS, AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
- ALL PIPING AND WIRING PERMANENTLY REMOVED SHALL BE REMOVED TO RISER AND PROPERLY CAPPED OR PLUGGED.
- THE CONTRACTOR, UPON COMPLETION OF THE WORK, SHALL ARRANGE FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND SIGN-OFFS AS REQUIRED.

REMOVAL NOTES

- CONTRACTOR SHALL PERFORM ALL OPERATIONS OF REMOVAL THAT ARE INDICATED ON THE DRAWINGS AND AS MAY BE REQUIRED BY THE WORK. ALL WORK SHALL BE DONE CAREFULLY AND NEATLY, IN A SYSTEMATIC MANNER.
- ALL EXISTING SURFACES AND EQUIPMENT TO REMAIN SHALL BE FULLY PROTECTED FROM DAMAGE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR DAMAGE AND SHALL MAKE REPAIRS REQUIRED WITHOUT ADDITIONAL COST TO THE OWNER.
- NO DEBRIS SHALL BE ALLOWED TO ACCUMULATE ON THE SITE. DEBRIS SHALL BE REMOVED BY THE CONTRACTOR AS THE JOB PROCEEDS. THE SITE SHALL BE LEFT BROOM CLEAN AT THE COMPLETION OF EVERY WORK DAY.
- NO STRUCTURAL ELEMENTS SHALL BE REMOVED UNLESS PORTIONS AFFECTED ARE ADEQUATELY SUPPORTED BY EITHER TEMPORARY SHORING OR NEW STRUCTURAL ELEMENTS AS REQUIRED TO PROTECT THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE.
- ALL ADJOINING PROPERTY AFFECTED BY ANY OPERATIONS OF DEMOLITION SHALL BE PROTECTED PER THE REQUIREMENTS OF ARTICLE 19 OF THE NYC BUILDING CODE.
- REMOVE OR RELOCATE ALL WIRING, PLUMBING, AND MECHANICAL EQUIPMENT AFFECTED BY REMOVAL OF PARTITIONS. REMOVED PIPES AND/OR LINES SHALL BE CUT TO RISER AND SHALL BE PROPERLY CAPPED OR PLUGGED.
- THE CONTRACTOR SHALL PROVIDE, ERECT AND MAINTAIN ALL TEMPORARY BARRIER AND GUARDS, AND ALL TEMPORARY SHORING AND BRACING AS REQUIRED BY DEPARTMENT OF BUILDING RULES AND REGULATIONS.
- PLUMBING CONTRACTOR SHALL INFORM ARCHITECT OF ANY REVISIONS TO PLAN WHICH SHALL BE NECESSARY, BASED ON CONDITIONS UNCOVERED IN THE FIELD, IN ORDER TO INSTALL ALL FIXTURES, EQUIPMENT AND PIPING IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE NYC BUILDING CODE.
- PLUMBING CONTRACTOR SHALL ARRANGE AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.

NOTE: THIS PLAN IS APPROVED ONLY FOR WORK APPROVED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON, OR TO BE CONSIDERED AS EITHER APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.

SUSPENDED CEILING NOTES

- NEW NON-RATED, SUSPENDED DRYWALL CEILINGS TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF C26-504.12.
- REQUIRED RATING OCCURS AT UNDERSIDE OF EXISTING CONCRETE FLOORSLAB, PER C26-504.12.
- NEW SUSPENDED DRYWALL CEILING TO BE 5/8" TYPE 'X' GYPSUM BOARD MOUNTED ON METAL FURRING CHANNELS ATTACHED TO 1-1/2" BLACK IRON CARRYING CHANNELS, PER C26-504.12 AND RS 5-16.
- HANGER TO BE 1/4" DIAMETER STEEL RODS, OR 1/8" X 1" ASPHALT PAINTED FLAT STRAP HANGERS NOT TO EXCEED 4'-6" O.C., PER RS 5-16.5.1.1.3 AND 5.1.1.4.
- CARRYING CHANNELS TO BE 1-1/2" COLD-ROLLED .475# NOT TO EXCEED 4'-6" O.C., PER FIGURES 2A AND 2B OF RS 5-16.
- CLIPS, CEILING ATTACHMENTS AND ALL OTHER COMPONENTS OF SUSPENSION

SMOKE DETECTING DEVICES

- SMOKE DETECTING DEVICES SHALL CONFORM TO §28.2-907.2.10.1.1 OF THE NYC BUILDING CODE (2008).
- DWELLING UNITS SHALL BE EQUIPPED WITH SMOKE DETECTING DEVICES RECEIVING THEIR PRIMARY POWER FROM THE BUILDING WIRING AND THERE SHALL BE NO SWITCHES IN THE CIRCUIT OTHER THAN THE OVER CURRENT DEVICE PROTECTING THE BRANCH CIRCUIT; PROVIDED, HOWEVER THAT DWELLING UNITS IN EXISTING BUILDINGS MAY, IN THE ALTERNATIVE, BE EQUIPPED WITH BATTERY-OPERATED SMOKE DETECTING DEVICES EXCEPT WHERE SUCH BUILDINGS ARE SUBSTANTIALLY IMPROVED OR ALTERED ON OR AFTER JANUARY 1, 1982, PER SEC 27-980.
- ALL SMOKE DETECTING DEVICES SHALL BE ACCEPTED PURSUANT TO RULES AND REGULATIONS PROMULGATED BY THE COMMISSIONER, APPROVED BY THE BOARD OF STANDARDS AND APPEALS OR LISTED BY A NATIONALLY RECOGNIZED INDEPENDENT LABORATORY. NO DEVICE SHALL BE DEEMED TO BE IN COMPLIANCE WITH THIS PROVISION UNLESS IT IS OF EITHER THE IONIZATION OR PHOTO-ELECTRIC TYPE AS PER SEC 27-981.
- SMOKE ALARMS OR DETECTORS SHALL BE LOCATED WITHIN DWELLING UNITS AS FOLLOWS:
 - ON THE CEILING OR WALL OUTSIDE OF EACH ROOM USED FOR SLEEPING PURPOSES WITHIN 15 FEET (4572 MM) FROM THE DOOR TO SUCH ROOM.
 - IN EACH ROOM USED FOR SLEEPING PURPOSES.
 - IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BELOW-GRADE STORIES AND PENTHOUSES OF ANY AREA, BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.

CARBON MONOXIDE DETECTOR NOTES

- CARBON MONOXIDE DETECTION DEVICES SHALL CONFORM TO LOCAL LAW 7 OF 2004, DOB RULES 1 RNYC 28-02 AND BUILDING CODE REFERENCE STANDARD 17-13 AND 17-14.
- CARBON MONOXIDE DETECTION DEVICES SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING. THERE SHALL BE NO SWITCHES IN THE CIRCUIT OTHER THAN THE OVERCURRENT DEVICE PROTECTING THE BRANCH CIRCUIT.
- SUCH DEVICES SHALL BE LOCATED WITHIN 15 FEET OF ANY ROOM USED FOR SLEEPING PURPOSES, AS PER CHAPTER 28 OF THE RULES AND REGULATIONS.
- ALL CARBON MONOXIDE DETECTION DEVICES SHALL BE ACCEPTED PURSUANT TO RULES AND REGULATIONS PROMULGATED BY THE COMMISSIONER, APPROVED BY THE BOARD OF STANDARDS AND APPEALS OR LISTED BY A NATIONALLY RECOGNIZED INDEPENDENT LABORATORY. NO DEVICE SHALL BE DEEMED TO BE IN COMPLIANCE WITH THIS PROVISION UNLESS IT IS OF EITHER THE IONIZATION OR PHOTO-ELECTRIC TYPE.

8. THE CONTRACTOR SHALL PROVIDE ADEQUATE WEATHER PROTECTION FOR THE BUILDING AND ITS CONTENTS DURING THE COURSE OF THE WORK. ALL OPENINGS IN ANY WALL OR ROOF SHALL BE PROTECTED FROM ALL FORMS OF WEATHER OR WATER PENETRATION.

9. THE CONTRACTOR SHALL FILE ALL NECESSARY CERTIFICATES OF INSURANCE WITH THE DEPARTMENT OF BUILDINGS, PAY ALL FEES, OBTAIN ALL PERMITS AND PROVIDE ANY AND ALL BONDS REQUIRED BY ANY CITY AGENCY IN ORDER TO DO THE WORK HEREIN DESCRIBED.

TENANTS SAFETY PLAN

- GENERAL: ALL WORK TO BE DONE IN ACCORDANCE WITH THE NEW YORK CITY BUILDING CODE, ARTICLE 19, AND REGULATIONS OF ALL OTHER AGENCIES HAVING JURISDICTION.
- STRUCTURAL: CONTRACTOR TO PROVIDE ADEQUATE TEMPORARY BRACING AND SHORING WHEREVER ANY STRUCTURAL WORK IS INVOLVED.
- MEANS OF EGRESS: ALL EXISTING MEANS OF EGRESS FOR TENANTS OF THE BUILDING TO BE MAINTAINED CLEAR AND FREE OF ALL OBSTRUCTIONS, SUCH AS BUILDING MATERIALS, TOOLS, ETC.
- FIRE SAFETY: ALL BUILDING MATERIALS STORED AT CONSTRUCTION AREA, AND/OR IN ANY AREA OF THE BUILDING ARE TO BE SECURED IN A LOCKED AREA. ACCESS TO SUCH AREA TO BE CONTROLLED BY OWNER AND/OR GENERAL CONTRACTOR.
- DUST CONTROL: DEBRIS, DIRT, AND DUST TO BE KEPT TO A MINIMUM, AND BE CONFINED TO THE IMMEDIATE CONSTRUCTION AREA; AND BE CLEANED UP AND CLEARED FROM BUILDING PERIODICALLY TO AVOID ANY EXCESSIVE ACCUMULATION.
- NOISE AFTER HOURS: CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS: 8 A.M. TO 5 P.M., MONDAYS THROUGH FRIDAYS, EXCEPT LEGAL HOLIDAYS.
- CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF HEATING, WATER, OR ELECTRICAL SERVICES TO OTHER TENANTS OF THE BUILDING.
- CONSTRUCTION WORK WILL BE CONFINED TO THE PROPOSED CONSTRUCTION FLOOR. CONTRACTOR WILL LIMIT TO THE MINIMAL, THE AMOUNT OF DUST, DIRT, OR OTHER SUCH INCONVENIENCES CREATED TO ALL OTHER AREAS WITHIN THE BUILDING.
- THERE WILL BE NO ONE OCCUPYING THE PROPOSED CONSTRUCTION FLOOR TO BE RENOVATED DURING THE COURSE OF CONSTRUCTION WORK.

PLUMBING AND DRAINAGE NOTES

- ALL PLUMBING AND GAS PIPING WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF NYC PLUMBING CODE (2008).

- PLUMBING FIXTURES SHALL BE OF TYPE AND MANUFACTURE APPROVED FOR USE IN NEW YORK CITY, AND SHALL BEAR BS&A APPROVAL, OR OTHER ACCEPTED APPROVED AGENCY (NYC CONSTRUCTION CODE, 2008).
- LOCAL LAW 29/89: ALL PLUMBING FIXTURES SHALL MEET WATER SAVING PERFORMANCE STANDARDS SPECIFIED IN SUBDIVISION P.104.2 OF SEC P.104.0 REFERENCE STANDARD RS 16 NYCBC.
- ALL GAS-FIRED EQUIPMENT TO BE AGA OR MEA APPROVED.

PLUMBING CONTRACTOR TO EXAMINE PROPOSED LAYOUT WITH REGARD TO EXISTING FIELD CONDITIONS, AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN ASSUMED FIELD CONDITIONS AND THOSE ENCOUNTERED DURING CONSTRUCTION. PLUMBING CONTRACTOR SHALL INFORM ARCHITECT OF ANY REVISIONS TO PLAN WHICH SHALL BE NECESSARY, BASED ON CONDITIONS UNCOVERED IN THE FIELD, IN ORDER TO INSTALL ALL FIXTURES, EQUIPMENT AND PIPING IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF THE NYC CONSTRUCTION CODE.

PLUMBING CONTRACTOR SHALL ARRANGE AND OBTAIN INSPECTIONS AND REQUIRED SIGN-OFFS.

NOTE: THIS PLAN IS APPROVED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON, OR TO BE CONSIDERED APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.

LOCAL LAW #58/87 NOTES

- PROPOSED WORK TO COMPLY WITH APPLICABLE REQUIREMENTS OF LOCAL LAW #58/87 FOR HANDICAPPED ACCESS.
- PROPOSED BATHROOM TO COMPLY WITH THE APPLICABLE REQUIREMENTS OF LOCAL LAW #58/87 AND RS 4-6 4.32.4 FOR HANDICAPPED ACCESS, INCLUDING:
 - NEW BATHROOM WALLS TO BE PROVIDED WITH BLOCKING, INSTALLED WITHIN THE WALLS, MAKING THEM ADAPTABLE TO GRAB BAR, HANDRAIL AND SHOWER SEAT ATTACHMENTS MEETING THE REQUIREMENTS OF RS 4-6, 4.24.3.
 - FIXTURES TO BE PROVIDED WITH REQUIRED CLEAR FLOOR SPACE AS PER THE REQUIREMENT OF 4.32.4.2, 4.3, 4.4, AND 4.5. NEW FIXTURES TO BE SUBJECT TO THE REQUIREMENTS OF 4.32.4 CONCERNING DIMENSIONS AND ADAPTABILITY, AS PER ATTACHED DETAILS.
 - BATHROOM DOOR BUCK SHALL BE PROVIDED TO ALLOW REMOUNTING OF DOOR ON SAME FRAME TO ACHIEVE ALTERNATIVE SWING.

- CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST, AS PER RS 4-6, 4.25.4.
- ACCESSIBLE ROUTES TO BE PROVIDED BETWEEN NEW FACILITIES, PROVIDING A MINIMUM OF 36 INCHES OF WIDTH ALONG THE ACCESSIBLE ROUTE AS PER RS 4-6, 4.3.1, AND A MINIMUM OF 32 INCHES OF WIDTH AT DOORWAYS, AS PER RS 4-6, 4.13.5.
- PROPOSED KITCHEN TO COMPLY WITH THE APPLICABLE REQUIREMENTS OF LOCAL LAW #58/87 AND RS 4-6 4.32.5 FOR HANDICAPPED ACCESS, INCLUDING:
 - CLEAR FLOOR SPACE OF A MINIMUM OF 30 INCHES BY 48 INCHES IS PROVIDED FOR APPROACH TO ALL APPLIANCES IN THE KITCHEN.

(2008), MC CHAPTER 6.

- SMOKE DETECTION SYSTEMS SHALL BE INSTALLED AS REQUIRED IN MC 606. FIRE DAMPERS SHALL BE PROVIDED AS REQUIRED IN ALL DUCTWORK AND OUTDOOR AIR INTAKE AND EXHAUST OPENINGS AS MC 607 AND MC 608. ALL FIRE DAMPERS SHALL BE OF MANUFACTURE AND TYPE APPROVED BY AN ACCEPTED ACCREDITATION AGENCY, AS LISTED IN BC 3502.
- CONTRACTOR SHALL APPLY FOR AND OBTAIN EQUIPMENT USE PERMIT(S) AS REQUIRED.

NOTE: THIS PLAN IS APPROVED ONLY FOR WORK APPROVED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON, OR TO BE CONSIDERED AS EITHER APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.

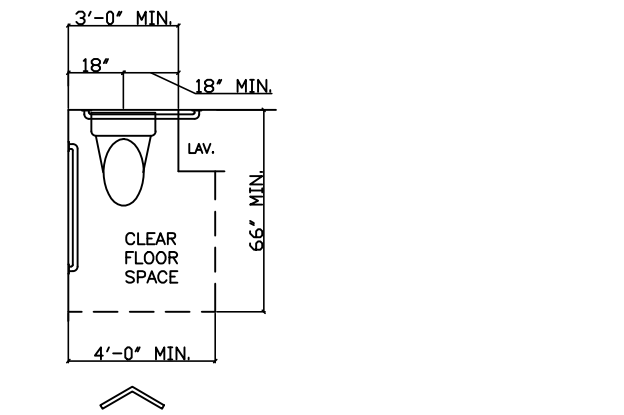


FIG. 28 - CLEAR FLOOR SPACE AT WATER CLOSETS

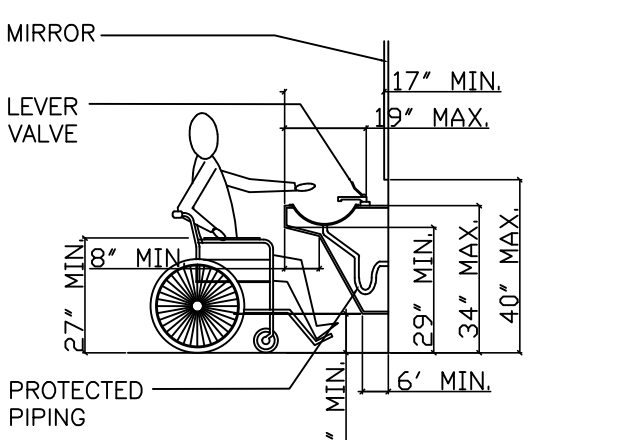


FIG. 31 - LAVATORY CLEARANCES

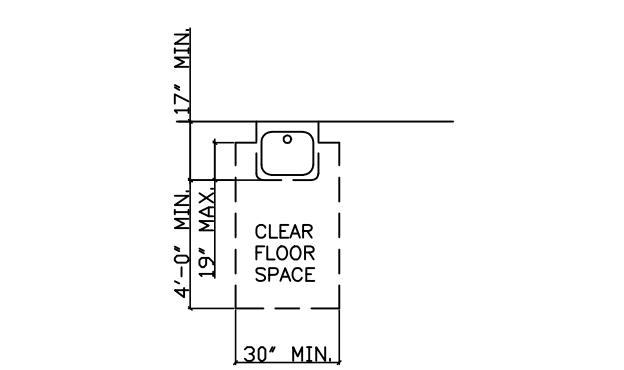


FIG. 32 - CLEAR FLOOR SPACE AT LAVATORIES

5 ADA BATHS SCALE: NOT TO SCALE

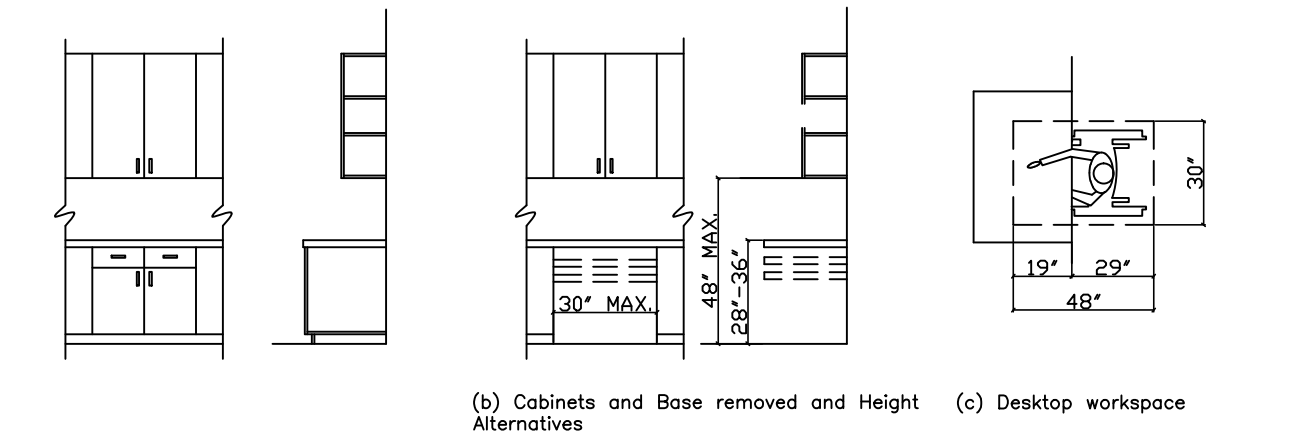
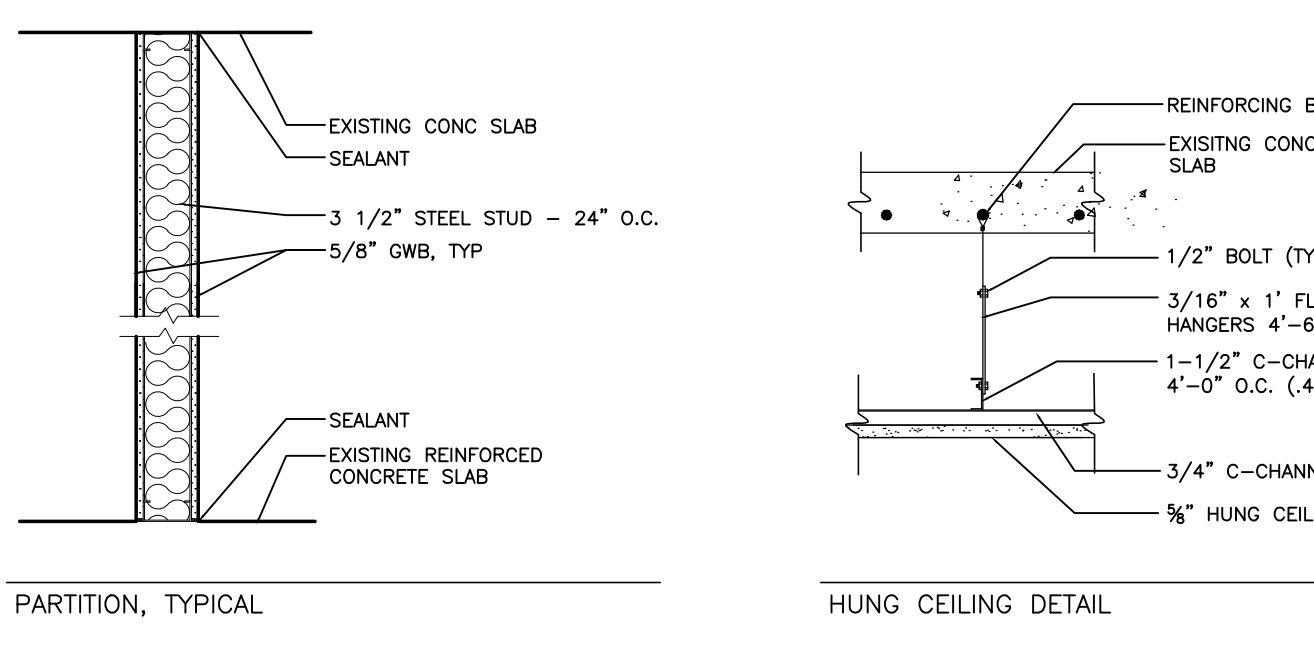


FIG. 50 (C) - COUNTER WORK SURFACE

4 ACCESSIBILITY DIAGRAMS SCALE: NOT TO SCALE



3 PARTITION, TYPICAL SCALE: NOT TO SCALE

2 HUNG CEILING DETAIL SCALE: NOT TO SCALE

MEPHISTO RETAIL

DRAWING LIST

- T-000.00: GENERAL NOTES, ADA DIAGRAMS & VICINITY PLANS
- A-100.00: 1ST FLOOR DEMOLITION AND PROPOSED WORK PLAN
- A-200.00: FRONT, SIDE ELEVATIONS PROPOSED & AWNING DETAIL
- P-100.00: 1ST FLOOR PLUMBING AND SANITARY RISER DIAGRAM

1089 MADISON AVENUE - RETAIL SPACE

ALT-2 RENOVATION OF AN EXISTING CLASS A RETAIL ON THE FIRST FLOOR. GENERAL CONSTRUCTION, MECHANICAL, ELECTRICAL, PARTITIONS, FLOORING, GWB, FINISHES, PLUMBING WORK AS PER PLANS FILED HEREWITH. NO CHANGE OF USE, OCCUPANCY OR EGRESS UNDER THIS APPLICATION.

PROPERTY INFORMATION

BLOCK: 1494
 ZONE: C5-1
 TAX LOT: 23
 ZONING MAP: 8C
 CONSTRUCTION CLASS: CLASS 1 - FIREPROOF
 HEIGHT: 120'-0"
 EXISTING OCCUPANCY: COMMERCIAL
 PROPOSED OCCUPANCY: COMMERCIAL RETAIL:

- SPECIAL CONTROLLED INSPECTIONS**
- FIRESTOPPING, DRAFTSTOP AND FIREBLOCK SYSTEM (BC 1704.25)
 - FIRE RESISTANCE RATED CONSTRUCTION (BC 109.3.4)
 - FINAL (B C 109.5 & DIRECTIVE 14 OF 1975)
 - MECHANICAL SYSTEMS

ENERGY CODE NOTE:

TO THE BEST OF MY KNOWLEDGE BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE EXEMPT FROM THE ENERGY CONSERVATION CODE OF NEW YORK STATE, BECAUSE THE WORK IS NOT PART OF THE SCOPE DESCRIBED IN CHARTER 1, SECTIONS 101.2 & 101.4.4.2

NOTES:

- SEE GENERAL NOTES AND PROJECT MANUAL

#	REVISION	DATE
1	DOB SET	08/2/2012

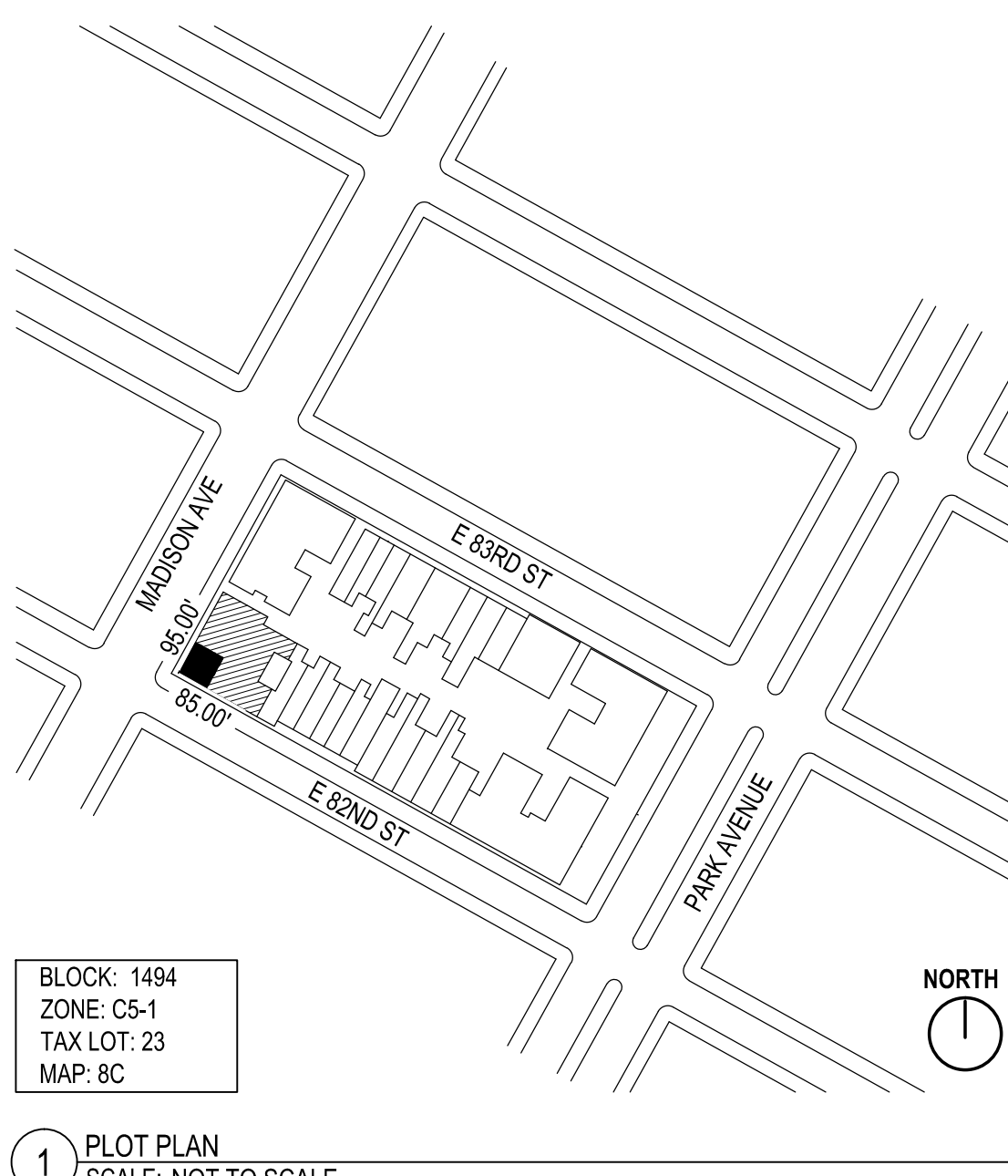
larson and paul ARCHITECTS

DOUGLAS LARSON, ARCHITECT
 RODMAN PAUL, ARCHITECT
 118 CHAMBERS ST
 4TH FLOOR
 NEW YORK, NY 10007
 T 212-587-1900
 F 212-587-3267
 © COPYRIGHT, LARSON + PAUL ARCHITECTS

MEMPHISTO RETAIL

1089 MADISON AVENUE
 NEW YORK, NY 10028

PLAN - DEMOLITION AND PROPOSED



1 PLOT PLAN SCALE: NOT TO SCALE

DRAWING # **DOB SET**

T:100.00

LEGEND - DEMOLITION PLAN

	EXISTING CONSTRUCTION TO REMAIN
	EXISTING CONSTRUCTION TO BE REMOVED

SCOPE OF WORK

REMOVAL OF EXISTING PARTITIONS
 INSTALLATION OF NEW PARTITIONS
 REMOVAL AND RELOCATION OF WC & LAV
 INSTALLATION OF NEW AWNINGS PER PLAN

MECHANICAL SCOPE OF WORK

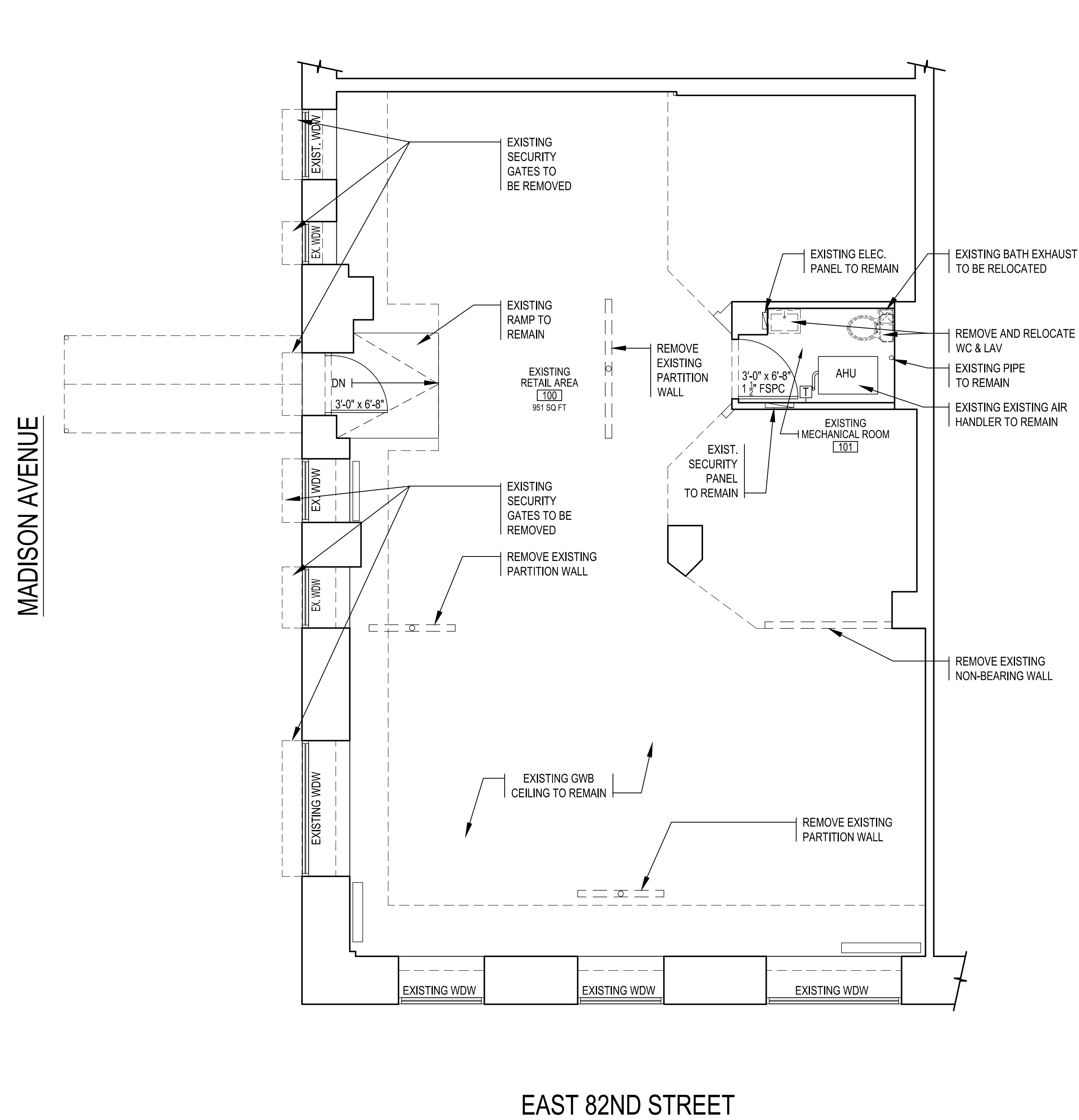
RELOCATION OF EXISTING WC EXHAUST

LEGEND - PROPOSED WORK

	EXISTING CONSTRUCTION TO REMAIN
	NEW PARTITION - STANDARD 2 X 4" STEEL STUDS @ 16" O.C. BATT INSULATION 5/8" GWB BOTH FACES UNLESS NOTED
	NEW WOOD DOOR SEE DOOR SCHEDULE
	ILLUMINATED EXIT SIGN

NOTES:

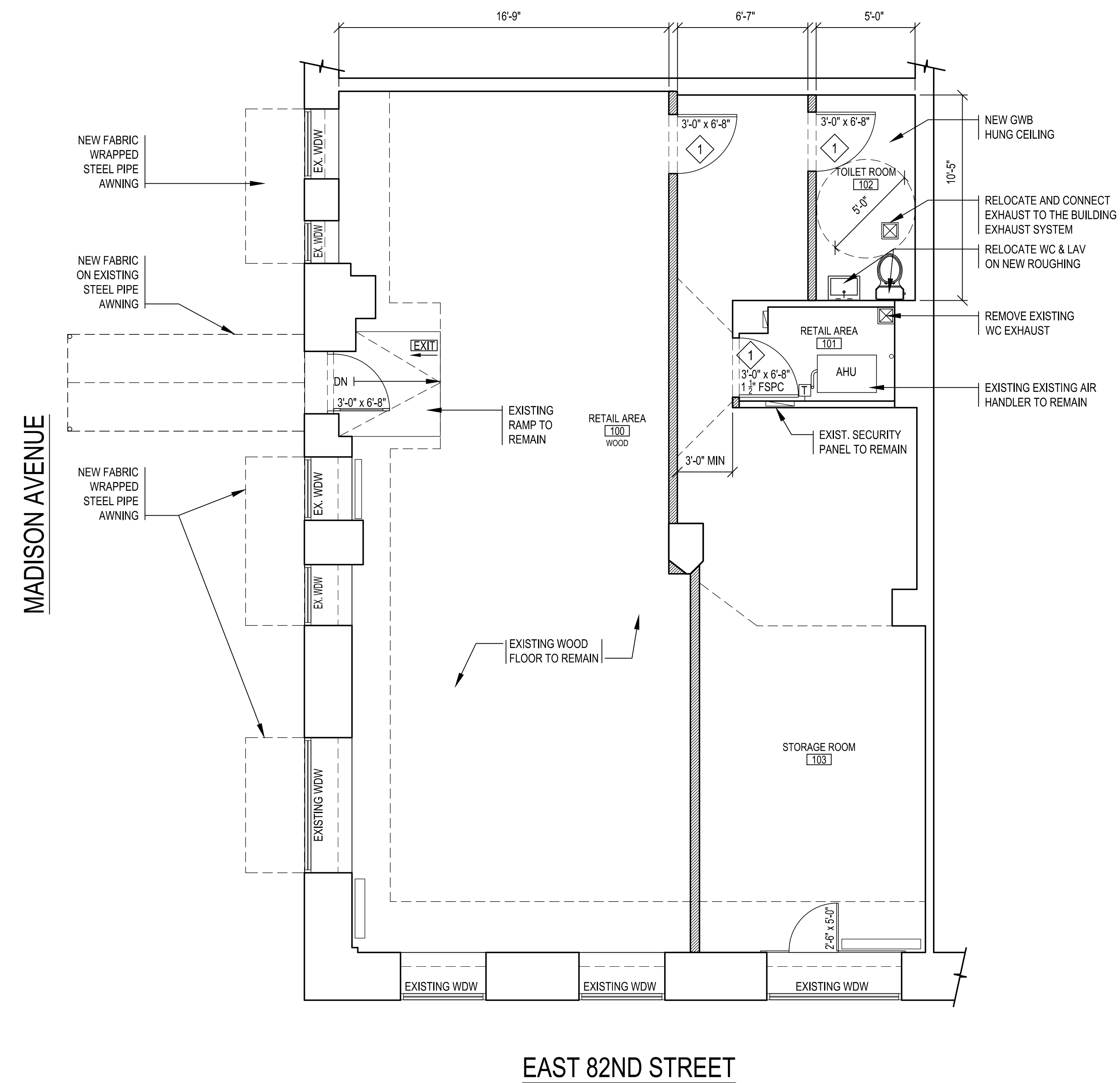
- 1) SEE GENERAL NOTES AND PROJECT MANUAL
- 2) CONTRACTOR SHALL COMPLY WITH ALL BUILDING RULES AND REGULATIONS.
- 3) G.C. ACCEPTS SOLE RESPONSIBILITY FOR JOB SITE SAFETY.
- 4) G.C. RESPONSIBLE FOR LEGAL DISPOSAL OF ALL SITE DEBRIS AND ALL FEES ASSOCIATED WITH DUMPING AND DUMPSTERS.
- 5) GC SHALL DEPLOY DUST CONTROL MEASURES AS REQUIRED BY BUILDING MANAGEMENT AND BUILDING SUPER.
- 6) PUBLIC VESTIBULE TO BE ISOLATED WITH FULL HEIGHT TAPED 6MIL POLY ZIPPERED DUST BARRIERS.
- 7) G.C. SHALL AT ALL TIMES, MAINTAIN A CLEAN WORKSITE. ALL PREMISES TO BE KEPT FREE OF DEBRIS AND WASTE MATERIALS AND BROOM CLEAN AT THE END OF EVERY WORKDAY. WORK IN PUBLIC AREAS IS TO BE CLEANED THOROUGHLY AND IMMEDIATELY. ALL CHASES AND SHAFTS TO BE CLOSED AND SEALED PROMPTLY.
- 8) NO BEAMS, COLUMNS, OR STRUCTURAL SLABS SHALL BE CUT, NOTCHED, OR CHANNELED.
- 9) WHERE PLUMBING FIXTURES ARE SHOWN TO BE REMOVED OR RELOCATED CLOSE ALL PLUMBING RISER VALVES. CHECK TO DETERMINE THAT THEY HOLD. REMOVE ALL BRANCH PLUMBING AND ALL FIXTURES TO RISER. PROTECT ALL RISERS AND PIPING PASSING THROUGH TO OTHER FLOORS.
- 10) A WORKING 5LB ABC FIRE EXTINGUISHER WILL BE KEPT ON SITE AT ALL TIMES.



EAST 82ND STREET



1 PLAN - EXISTING - FIRST FLOOR
 SCALE: 1/4"=1'-0"



EAST 82ND STREET



2 PLAN - PROPOSED - FIRST FLOOR
 SCALE: 1/4"=1'-0"

larsonandpaul ARCHITECTS

DOUGLAS LARSON, ARCHITECT
 RODMAN PAUL, ARCHITECT
 118 CHAMBERS ST
 4TH FLOOR
 NEW YORK, NY 10007

T 212-587-1900
 F 212-587-3267

© COPYRIGHT LARSON + PAUL ARCHITECTS

MEMPHISTO RETAIL
 1089 MADISON AVENUE
 NEW YORK, NY 10028

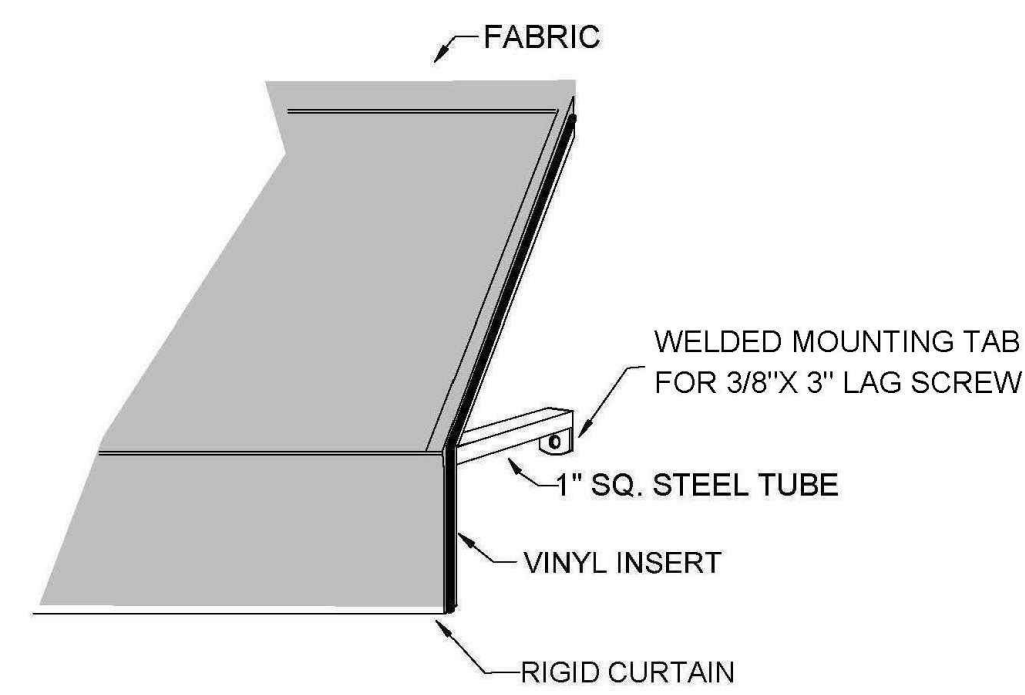
PLAN - DEMOLITION & PROPOSED

JOB NUMBER:	12-07	STAMP:
SCALE:	1/4"=1'-0"	
ISSUE DATE:	07/16/2013	
DRAWN BY:	DS	

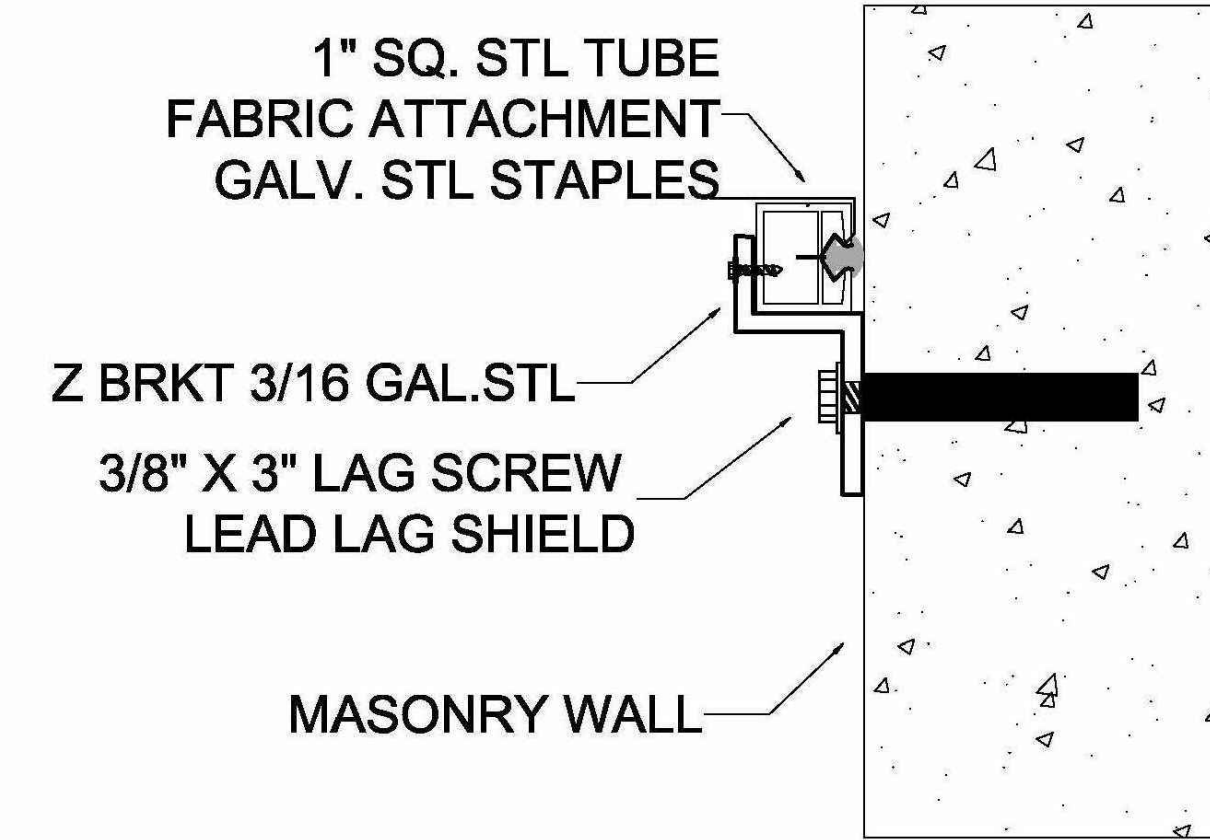
DRAWING #: **DOB SET**

A:100.00

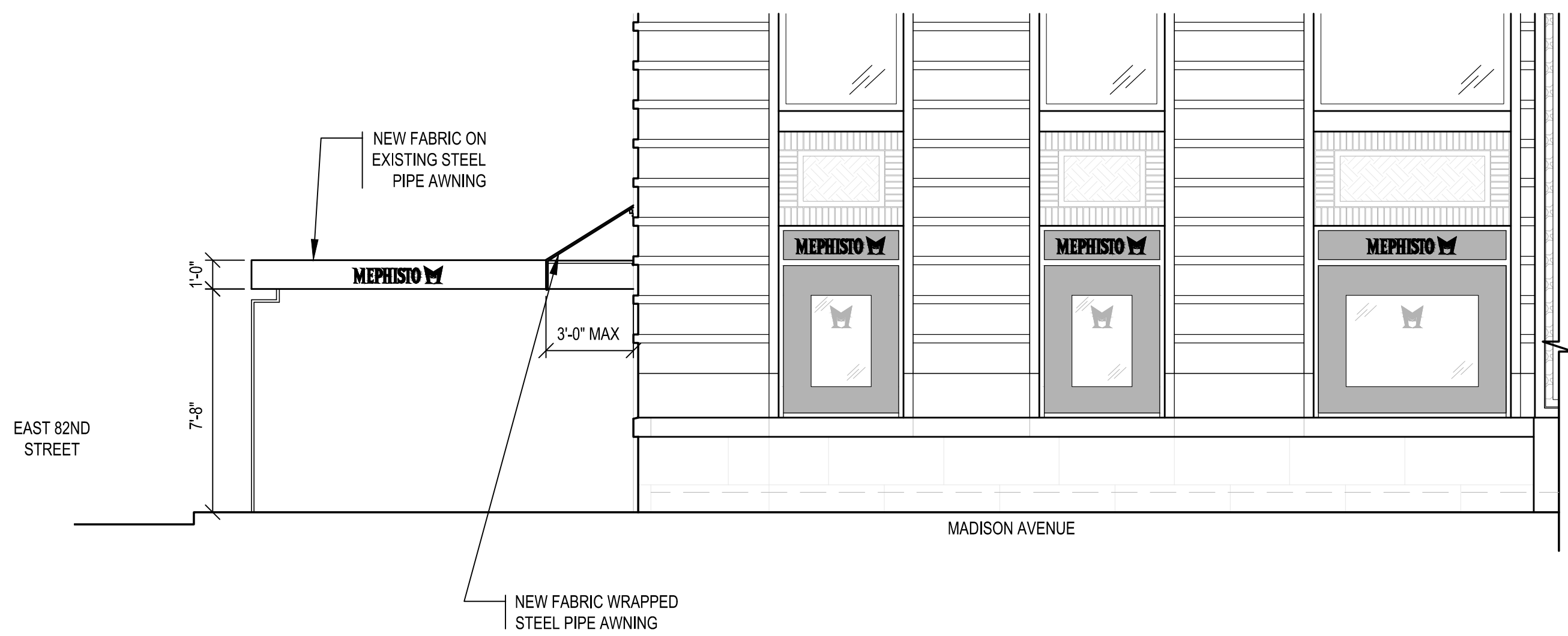
NOTES:
 1) SEE GENERAL NOTES & PROJECT MANUAL.



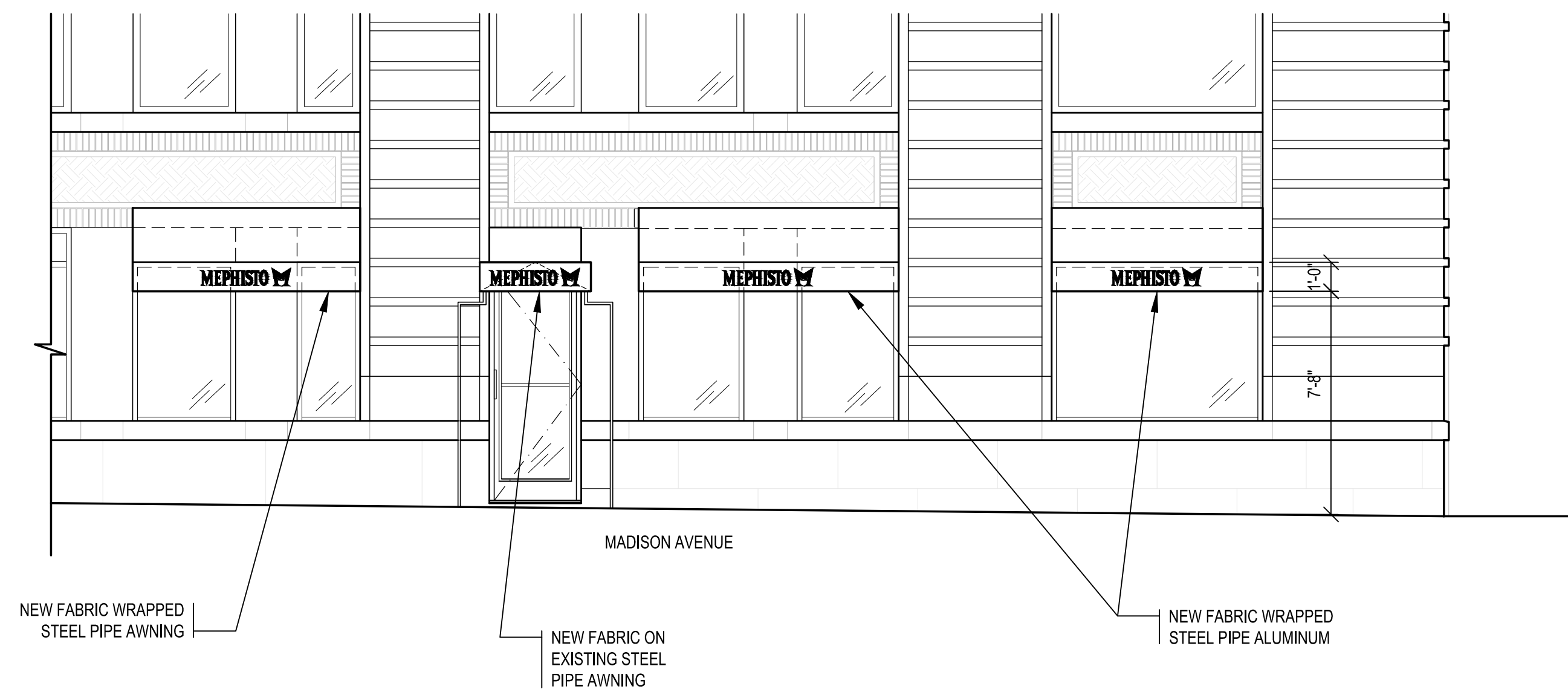
4 DETAIL - AWNING
 SCALE: N.T.S.



3 DETAIL - AWNING INSTALLATION, TYP.
 SCALE: N.T.S.



2 SIDE ELEVATION - AWNING PROPOSED
 SCALE: 1/4"=1'-0"



1 FRONT ELEVATION - AWNING PROPOSED
 SCALE: 1/4"=1'-0"



#	REVISION	DATE
1	DOB SET	08/2/2012

larsonandpaul ARCHITECTS

DOUGLAS LARSON, ARCHITECT
 RODMAN PAUL, ARCHITECT
 118 CHAMBERS ST
 4TH FLOOR
 NEW YORK, NY 10007

T 212-587-1900
 F 212-587-3267

© COPYRIGHT LARSON + PAUL ARCHITECTS

MEMPHISTO RETAIL
 1089 MADISON AVENUE
 NEW YORK, NY 10028

ELEVATIONS, AWNING DETAIL - PROPOSED

JOB NUMBER:	12-07	STAMP:
SCALE:	AS NOTED	
ISSUE DATE:	07/16/2013	
DRAWN BY:	DS	

DRAWING #: **DOB SET**

A:200.00

- ALL MATERIAL INDICATED AND IMPLIED ON THESE DRAWINGS SHALL BE NEW UNLESS OTHERWISE NOTED.
- PIPE LOCATIONS ARE DIAGRAMMATIC. ALL PIPING TO BE RUN CONCEALED IN FINISHED SPACES UNLESS NOTED OTHERWISE.
- ALL PLUMBING WORK TO MEET STATE BUILDING CODE AND ALL LOCAL RULES AND REGULATIONS.
- UNLESS OTHERWISE NOTED, SLOPE OF DRAINAGE SYSTEM TO BE 1/8" PER FOOT OF RUN FOR PIPE OVER 2-1/2"; 1/4" PER FOOT FOR PIPE 2-1/2" AND SMALLER.
- SANITARY LINES TO BE PVC ABOVE GROUND.
- VENT LINES TO BE PVC.
- WATER LINES TO BE COPPER; TYPE L-INTERIOR.
- WATER LINES TO BE INSULATED: COLD WATER ALL SIZES AND 1 1/2" HOT WATER - 1 1/2" FIBERGLASS W/ CANVAS JACKET, HW LARGER THAN 1 1/2" - 3" FIBERGLASS W/ CANVAS JACKET.
- ALL PLUMBING FIXTURES AND EQUIPMENT, EXCEPT BATHTUBS AND SHOWERS, TO HAVE SHUT-OFF VALVES.
- ALL BRANCH LINES TO HAVE SHUT-OFF VALVES.
- ALL SHUT-OFF VALVES TO BE ACCESSIBLE. PROVIDE ACCESS DOORS WHERE NECESSARY.
- VERIFY EXACT LOCATION OF ALL EXISTING UTILITIES.
- PROVIDE DIELECTRIC FITTINGS BETWEEN DISSIMILAR MATERIALS.
- LEAD-FREE SOLDER TO BE USED ON DOMESTIC WATER PIPING JOINTS AS PER PLUMBING SUBCODE.
- CONTRACTOR'S PRICE SHALL INCLUDE ALL HANGERS, INSERTS, TESTING, TOOLS, SUPERVISION, LABOR, COORDINATION, MATERIALS, EQUIPMENT, REMOVALS, CAPPING, PATCHING, DISPOSAL, AND OTHER NECESSARY ITEMS TO PROVIDE THE PLUMBING INSTALLATION.
- MINOR DETAILS NOT SHOWN OR SPECIFIED, BUT NECESSARY FOR THE PROPER AND ACCEPTABLE CONSTRUCTION, INSTALLATION, OR OPERATION OF ANY PART OF THE WORK AS DETERMINED BY THE ENGINEER SHALL BE INCLUDED IN THE WORK AS IF IT WERE SPECIFIED OR INDICATED ON THE DRAWINGS.
- BEFORE SUBMITTING BID, CONTRACTOR SHALL CONDUCT AN ON-SITE INSPECTION TO VERIFY CONDITIONS. ALL WORK SHOWN IS A SCHEMATIC REPRESENTATION OF DESIGN INTENT. COORDINATION WITH EXISTING SERVICES, INCLUDING THOSE OF OTHER TRADES, IS REQUIRED AND SHALL BE PROVIDED AT NO ADDITIONAL COST. ANY MAJOR DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER.
- CONTRACTOR SHALL VERIFY ALL INDICATED CONDITIONS BEFORE STARTING WORK AND REPORT ANY DISCREPANCIES TO THE ARCHITECT. THE DRAWINGS REFLECT CONDITIONS REASONABLY INTERPRETED FROM THE EXISTING VISIBLE CONDITIONS, OR FROM DRAWINGS AND INFORMATION FURNISHED BY THE OWNER, BUT CANNOT BE GUARANTEED BY THE ENGINEER.
- CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF ARCHITECT, ENGINEER, OWNER, AND/OR LOCAL AUTHORITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING AND NEW CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. ANY DAMAGE CAUSED BY, OR DURING THE EXECUTION OF THE WORK IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED TO THE ENGINEER'S SATISFACTION.
- EQUIPMENT, MATERIALS AND WORKMANSHIP FURNISHED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL KEEP THE WORK IN GOOD REPAIR FOR ONE YEAR AFTER THE DATE OF FINAL APPROVAL. THE CONTRACTOR SHALL AT HIS OWN EXPENSE, CORRECT AND REPAIR PROMPTLY ANY AND ALL BREAKS, FAILURES

- OR WEAR DUE TO FAULTY MATERIALS, WORKMANSHIP OR EQUIPMENT AND ALL SETTLEMENTS OF SURFACE THAT MAY OCCUR DURING THAT PERIOD.
- LOCATE ALL FIXTURES AS PER FINAL ARCHITECTURAL DRAWINGS AND OWNER'S DIRECTION.
- ALL PIPING RUN IN CEILING TO BE RUN TIGHT TO STRUCTURE ABOVE.
- CONTRACTOR SHALL VERIFY THAT FLOOR CONSTRUCTION WILL ALLOW RUNNING OF SANITARY PIPING IN FLOOR.
- ALL HAND FIXTURES AND FIXTURES REQUIRING VACUUM BREAKERS TO BE EQUIPPED WITH INTEGRAL VACUUM BREAKERS. FINISH TO MATCH FIXTURE, SEE FIXTURE SCHEDULE PROVIDED BY ARCHITECT.
- ANY PENETRATION THROUGH FIRE RATED PARTITIONS, FLOORS OR CEILINGS, SHALL BE STEEL SLEEVED AND SEALED WITH 3M BRAND U.L. RATED FIRE BARRIER CAULK OR APPROVED EQUAL.
- THIS CONTRACTOR IS RESPONSIBLE FOR ALL PAINTING ASSOCIATED WITH CUTTING AND PATCHING. ALL PAINTING IN AREAS WITH COMPLETE FINISH RENOVATIONS TO BE BY GENERAL CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR PATCHING AND REPAIRING OF FLOORS, WALLS AND CEILINGS DAMAGED AS A RESULT OF THE PLUMBING INSTALLATION TO MATCH EXISTING OR NEW FINISHES AS REQUIRED.
- WHEN THE WATER PIPING SYSTEM IS COMPLETE, THOROUGHLY FLUSH ALL DIRT, SEDIMENT, SOLDER, ETC., OUT OF THE SYSTEM, REMOVING ALL STRAINERS, VALVE STEM SEATS, ETC., REQUIRED TO ACCOMPLISH THE FLUSHING.

- REFILL ENTIRE POTABLE HOT AND COLD WATER SUPPLY SYSTEM WITH CHLORINE SOLUTION (HTH OLIN CHEMICAL CORP.) AT A STRENGTH TO MEET MINIMUM STANDARDS OF THE DEPARTMENT OF HEALTH, AND FOR A PERIOD OF RETENTION AS STIPULATED.

- THOROUGHLY FLUSH PIPING SYSTEM WITH FRESH WATER IMMEDIATELY PRIOR TO FINAL ACCEPTANCE.
- INSTALL SLEEVES FOR ALL PIPES WHICH PASS THROUGH WALLS, FLOORS AND CEILINGS. WHERE PIPES ARE TO BE INSULATED, THE SLEEVE SHALL BE LARGE ENOUGH TO ACCOMMODATE INSULATION. SLEEVES SHALL BE FLUSH WITH FINISHED SURFACES AT BOTH ENDS. ON FINISHED SURFACES IN EXPOSED AREAS PROVIDE ESCUTCHEONS COMPATIBLE WITH FINISH.
- PROVIDE UNIONS IN ALL PIPING CONNECTIONS TO EQUIPMENT.
- PROVIDE PIPE ANCHORS, GUIDES, AND EXPANSION JOINTS OR LOOPS IN ALL H.W. MAIN SUPPLY PIPING AND SEGMENTS OF SUCH PIPE THAT EXCEED 30'-0" IN LENGTH.
- SAFETY ASPECTS OF THE WORK ARE EXCLUSIVELY THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL MANNER OF DERRICKS, MACHINERY, SCAFFOLDING, AND TOOLS OF EVERY DESCRIPTION REQUIRED FOR THE PROPER EXECUTION OF THE WORK SHALL BE PROVIDED AND MAINTAINED BY THE CONTRACTOR. THESE FACILITIES SHALL BE FURNISHED IN ACCORDANCE WITH ALL SAFETY CODES. CONTRACTOR SHALL REMOVE THEM PROMPTLY FROM THE SITE WHEN THEY ARE NO LONGER REQUIRED. RIGGING AND HOISTING IS ALSO THE RESPONSIBILITY OF THE CONTRACTOR. THE CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY, AND HOLD THE DESIGN PROFESSIONAL FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.

NOTES:

PLUMBING NOTES

- SEE GENERAL NOTES AND PROJECT MANUAL
- THERE SHALL BE NO INTERRUPTION OR RELOCATION OF BUILDING SERVICES WITHOUT PERMISSION OF BUILDING MANAGER.
- WHERE PLUMBING FIXTURES ARE SHOWN TO BE REMOVED OR RELOCATED CLOSE ALL PLUMBING RISER VALVES, CHECK TO DETERMINE THAT THEY HOLD. REMOVE ALL BRANCH PLUMBING AND ALL FIXTURES TO RISER / STACK. PROTECT ALL RISERS AND PIPING PASSING THROUGH TO OTHER FLOORS.
- NEW SHUT OFF VALVES SHALL HAVE 4 FULL ELBOW SWINGS BETWEEN THE RISER AND THE FIRST WALL PENETRATION WITH DI-ELECTRIC FITTINGS AS REQUIRED.
- ALL NEW AND EXISTING VALVES MUST BE ACCESSIBLE BY BEING EXPOSED OR SERVICED BY ACCESS PANEL. GC TO COORDINATE LOCATIONS WITH BUILDING SUPER.
- PLUMBER TO CHECK EXISTING BEING REUSED TO VERIFY THEY ARE FREE OF OBSTRUCTION.
- ALL HOT AND COLD WATER LINES TO BE INSULATED: 3/4" LINE = 3/4" FIBERGLASS W/ CANVAS JACKET. > 1" LINE = 1" FIBERGLASS W/ CANVAS JACKET.
- ALL HOT AND COLD PIPING AT FIXTURES TO HAVE WATER HAMMER ARRESTORS ABOVE THE FIXTURE.
- ALL PIPING FROM SHUT-OFF TO PLUMBING FITTINGS TO BE SOLID METAL TUBING. NO BRAIDED STAINLESS STEEL, PLASTIC, OR RUBBER. APPLIANCE HOSES MAY BE HIGH PRESSURE 'NO-BURST' HOOK-UPS ONLY IF NO ALTERNATIVE IS POSSIBLE.
- THE USE OF 'NO HUB' CONNECTIONS IS NOT PERMITTED. 'CLAMP-ALL'S' PREFERRED.

1	DOB SET	08/2/2012
#	REVISION	DATE

larsonandpaul ARCHITECTS

DOUGLAS LARSON, ARCHITECT
 RODMAN PAUL, ARCHITECT
 118 CHAMBERS ST
 4TH FLOOR
 NEW YORK, NY 10007
 T 212-687-1900
 F 212-687-3267
 © COPYRIGHT LARSON + PAUL ARCHITECTS

MEMPHISTO RETAIL
 1089 MADISON AVENUE
 NEW YORK, NY 10028

PLUMBING RISER DIAGRAMS

JOB NUMBER:	12-07	STAMP:
SCALE:	1/4"=1'-0"	
ISSUE DATE:	07/16/2013	
DRAWN BY:	DS	

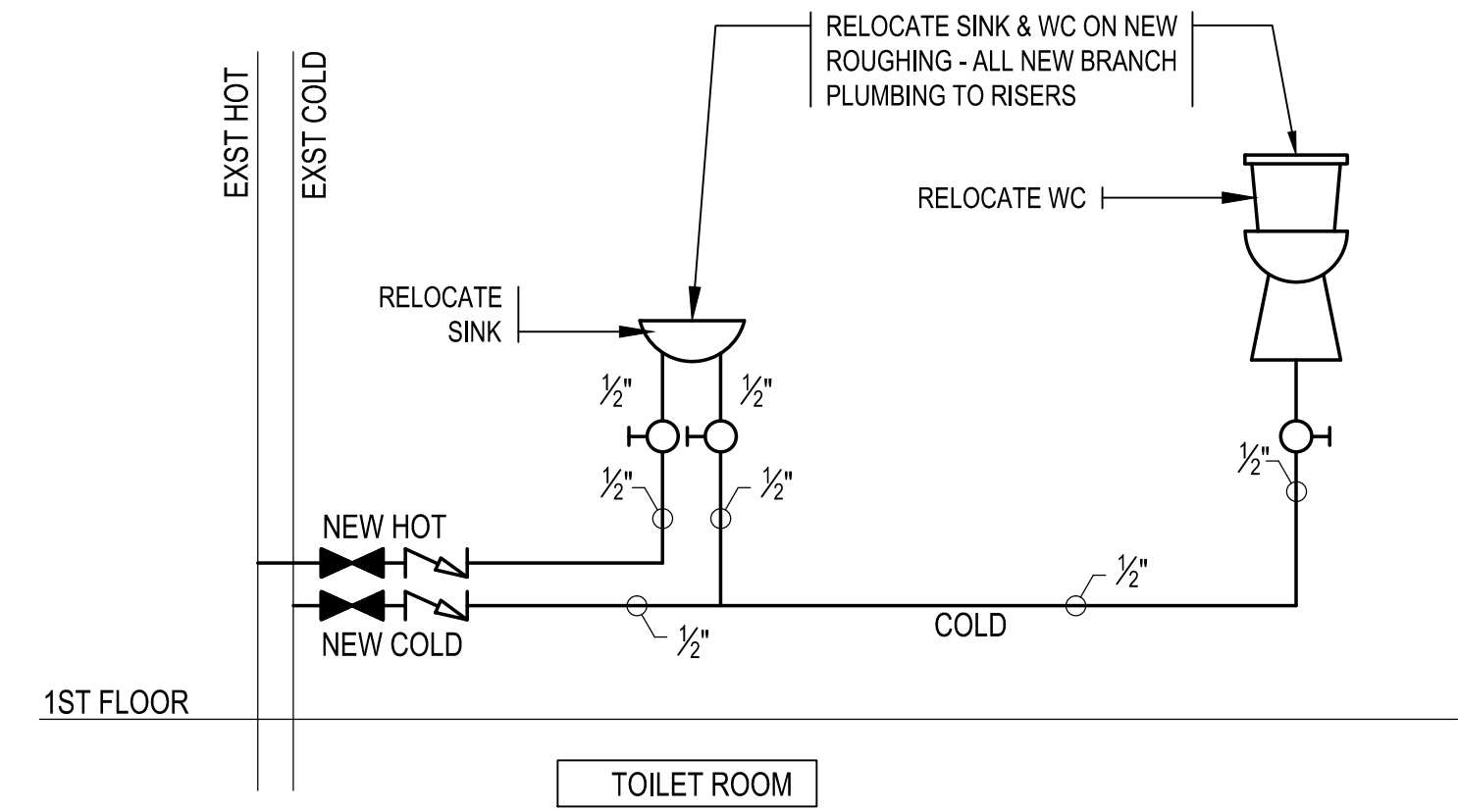
DRAWING #: **DOB SET**
P:100.00

FIXTURE	SANITARY	VENT	HOT WATER	COLD WATER
WC	4"	2"	--	1/2"
LAV	1 1/2"	1 1/2"	1/2"	1/2"
BATH TUB	1 1/2"	1 1/2"	3/4"	3/4"
SHOWER	2"	2"	3/4"	3/4"
SINK	2"	1 1/2"	1/2"	1/2"
WASHING MACHINE	2"	1 1/2"	1/2"	1/2"
DISH WASHER	1 1/2"	1 1/2"	1/2"	--
HOSE BIB	--	--	--	3/4"
REFRIGERATOR	--	--	--	1/4"

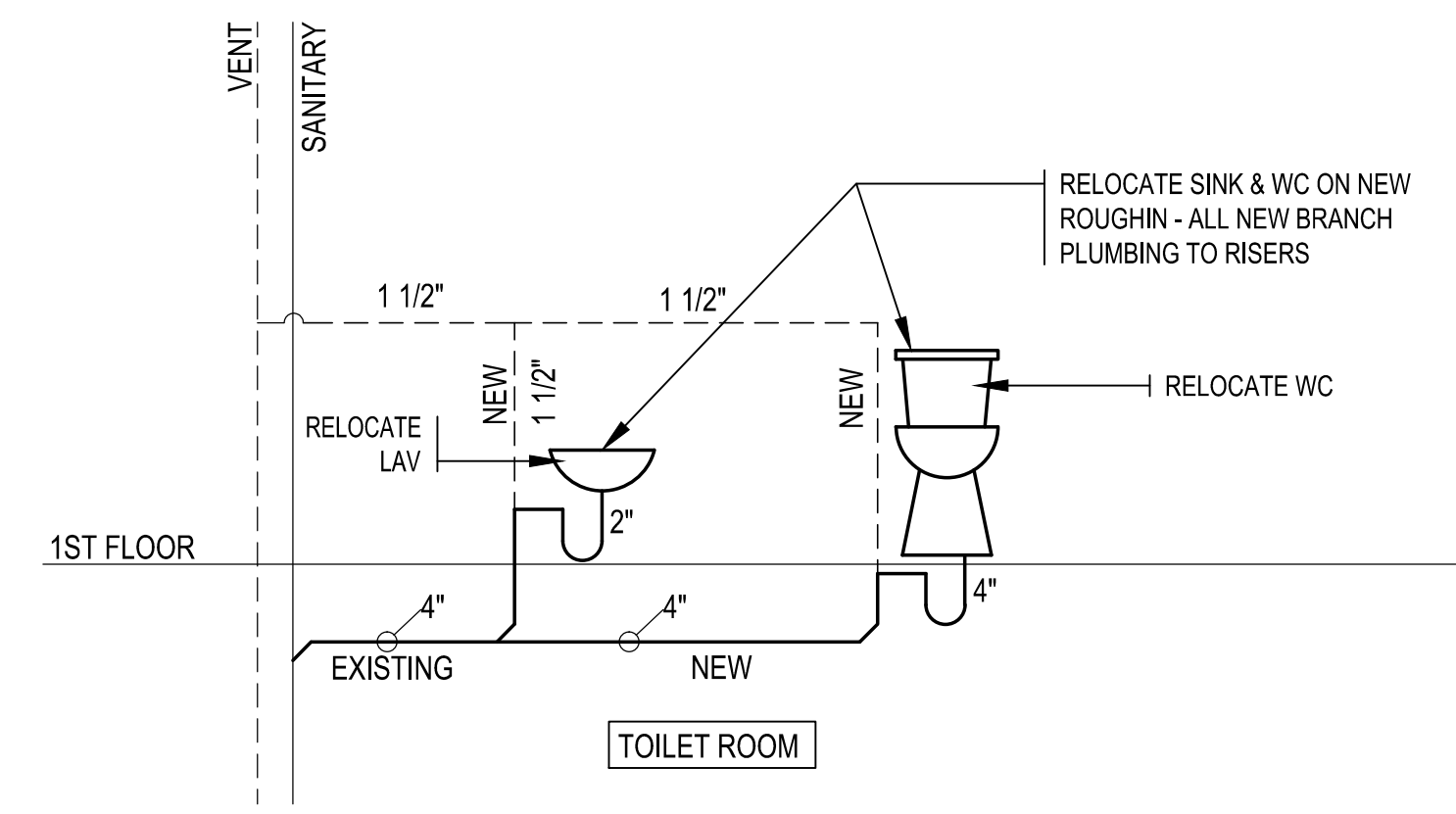
GENERAL PLUMBING NOTES
 SCALE: N/A

LEGEND - PLUMBING RISER DIAGRAMS

	BRANCH SHUT-OFF LOCATED AT RISER
	CHECK VALVE, QUIET TYPE LOCATED AT RISER
	SHUT-OFF VALVE AT FIXTURE/APPLIANCE
----	EXISTING VENT PIPING TO REMAIN
----	EXISTING WATER PIPING TO REMAIN
----	NEW VENT PIPING
----	NEW COPPER PIPING



2 PROPOSED WORK - 1st FLOOR PLUMBING HW & CW RISER DIAGRAMS
 SCALE: NOT TO SCALE



1 PROPOSED WORK - 1st FLOOR PLUMBING SANITARY RISER DIAGRAMS
 SCALE: NOT TO SCALE